

# SITE PLAN FOR ZONING VARIANCE

**To The Mixed-Use Structure to become Multi-Family Residential at:  
321 Broughton Avenue  
Bloomfield, New Jersey 07003**

## GENERAL NOTES

1. OWNER/ APPLICANT:  
FRANK GABRIELE  
321 BROUGHTON AVE  
BLOOMFIELD, NJ 07003
2. TAX MAP DATA: BLOCK: 911 LOT: 1
3. SITE IS PRESENTLY DEVELOPED FOR MIXED-USE COMMERCIAL AND RESIDENTIAL. THIS APPLICATION IS PRESENTED TO THE BOARD FOR APPROVAL CHANGE-OF-USE ELIMINATING ALL COMMERCIAL. PROPOSAL REQUESTS FOR (3) UNITS OF RESIDENTIAL TOTAL.
4. DRIVEWAY FOR TWO CARS.
5. NO DRAINAGE IMPROVEMENTS ARE PROPOSED.
6. ALL UTILITIES EXIST ON SITE. NO NEW UTILITIES ARE REQUIRED.
7. THIS DRAWING IS INTENDED TO BE USED FOR ZONING APPROVAL PURPOSES ONLY. DRAWING SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE PROFESSIONAL ARCHITECT'S RAISED SEAL AND SIGNATURE AND THE WORDS "ISSUED FOR CONSTRUCTION".
8. ANY DIFFERENCES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF GA ARCHITECTURE.

**GA**  
ARCHITECTURE

RESIDENTIAL  
OFFICE AND RETAIL  
COMMERCIAL  
EDUCATIONAL

151 Washington Street  
Bloomfield, New Jersey 07003  
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client/project:

**Renovation, Alteration, and Change-Of-Use From Commercial to Residential For The:**

**Ground Floor - Unit #1  
321 Broughton Ave.  
Bloomfield, NJ 07003**

**For: Frank Gabriele  
125 Kenzel Ave.  
Nutley, NJ 07110**

consultant:

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## REVISIONS

| REV. NO. | DATE | REMARKS |
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| AG    | GA       | 2509        |
| scale | AS NOTED |             |

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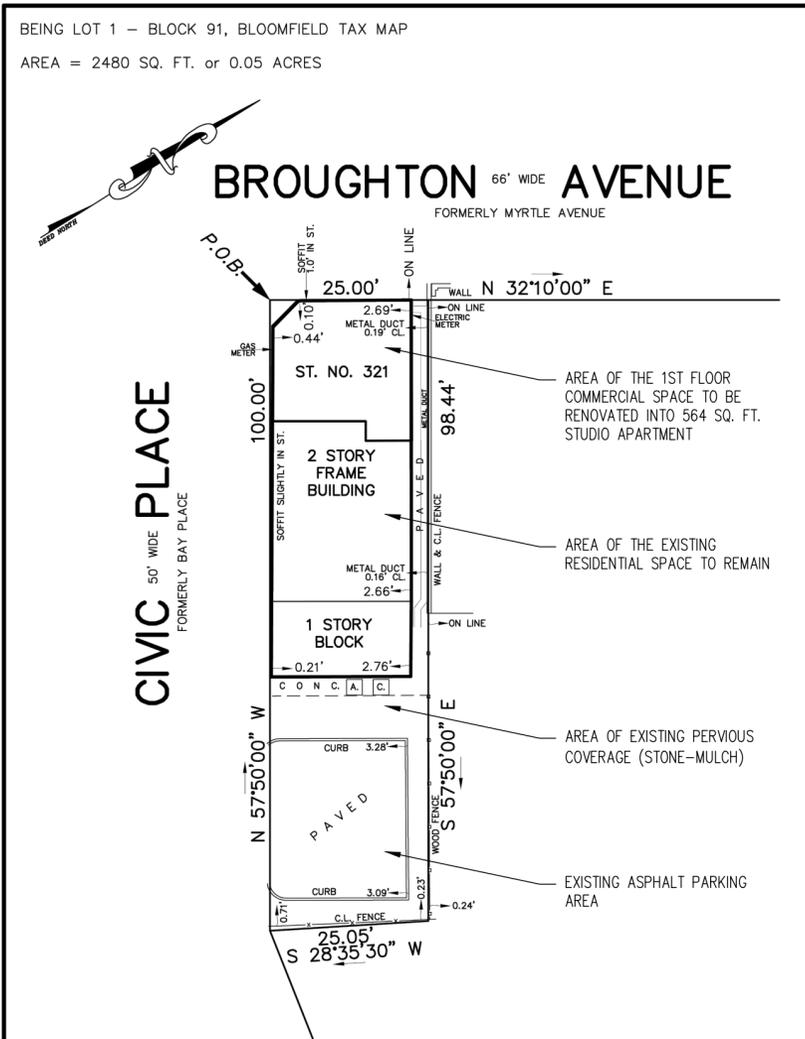
George Azrak, R.A.  
□ New Jersey License AI10437  
□ Pennsylvania License RA404023

drawing title:  
**COVER SHEET**

drawing number

# ZB-1

## SITE SURVEY



This certification is made only to the named parties for purchase and/or mortgage of herein delineated property by the named purchaser. No responsibility or liability is assumed by the Surveyor for use of survey for any other purpose, including, but not limited to, use of survey for survey of adjacent, resale of property, or to any other person not listed in certification, either directly or indirectly.

A written Notice and Direction Not to Set Corner Markers has been obtained from the ultimate user pursuant to N.J.A.C. 13:40-5.1(g)

MAP OF PROPERTY LOCATED AT  
BLOOMFIELD, ESSEX COUNTY, N.J.

SURVEY NO. 18192A  
CERTIFIED TO:  
FRANK GABRIELE & JACQUELINE GABRIELE

**BORRIE, McDONALD & WATSON**  
LAND SURVEYORS  
130 WASHINGTON STREET  
BLOOMFIELD, N.J. 07003  
(973)429-0049

*Richard T. Watson*  
RICHARD T. WATSON  
PROFESSIONAL LAND SURVEYOR NEW JERSEY LICENSE NO. 34884

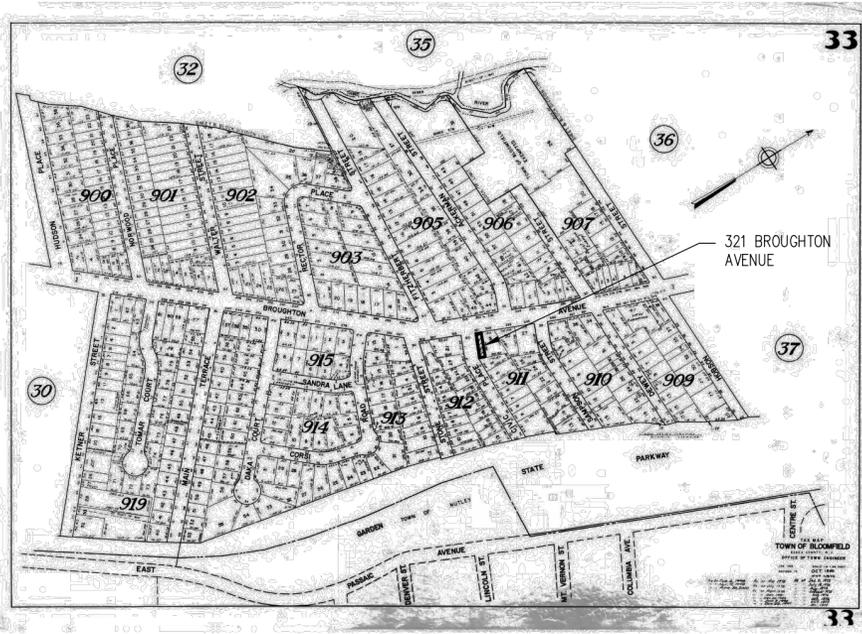
DATE: APR. 24, 2025 SCALE: 1" = 16'

## 200 FT RADIUS AREA MAP

FOR LIST OF ALL PROPERTY OWNERS WITHIN THIS RADIUS, SEE DRAWING ZB-2



## TAX MAP



## ZONING DATA AND CHART

ZONE: R-1B Single-Family Medium-Density Residential

| DESCRIPTION   | REQUIRED (R-1B) | EXISTING          | PROPOSED     | VARIANCE REQUIRED |
|---|-----------------|-------------------|--------------|-------------------|
| USE   | SINGLE FAMILY   | MIXED-USE         | MULTI-FAMILY | YES               |
| MIN. LOT AREA   | 4,000 SQ. FT    | 2,480 SF          | NO CHANGE    | PRE-EXIST.        |
| MIN. LOT WIDTH  | 40'-0"          | 25'               | NO CHANGE    | PRE-EXIST.        |
| MAX. HEIGHT   | 40' & 2 1/2 STY | 29.6' & 2 1/2 STY | NO CHANGE    | NO                |
| MIN. FRONT YARD SETBACK                                     | 20'             | 0'                | NO CHANGE    | PRE-EXIST.        |
| MIN. SIDE YARD SETBACK                                      | 6'              | 0' (SOUTH)        | NO CHANGE    | PRE-EXIST.        |
| MIN. SIDE YARD SETBACK                                      | 6'              | 2.66' (NORTH)     | NO CHANGE    | PRE-EXIST.        |
| MIN. REAR YARD SETBACK                                      | 25'             | 38.9'             | NO CHANGE    | NO                |
| MAX. BLDG. COVERAGE   | 25%             | 53.7%             | NO CHANGE    | PRE-EXIST.        |
| ACCESSORY BLDG SIDE YARD SETBACK                            | 5'              | N/A               | NO CHANGE    | NO                |
| ACCESSORY BLDG REAR YARD SETBACK                            | 5'              | N/A               | NO CHANGE    | NO                |
| MAX. LOT COVERAGE (IMPERVIOUS)                              | 60%             | 85.6% *           | NO CHANGE    | PRE-EXIST.        |
| FLOOR AREA RATIO (FAR)                                      | 0.5             | 0.92              | NO CHANGE    | PRE-EXIST.        |
| DENSITY **  | 1 DWELLING UNIT | 2 DWELLING UNITS  | NO CHANGE    | YES               |
| ON-SITE PARKING,*** AS PER NJ ADMIN. CODE 5:21-4.14 PARKING | 6 SPACES        | 2 SPACES          | NO CHANGE    | PRE-EXIST.        |

\* BASED ON NEW SURVEY DATED APRIL 24TH, 2025 BY BORRIE, MCDONALD & WATSON.

\*\* THIS APPLICATION PROPOSES TO MAINTAIN THREE UNITS TOTAL. AS PER ZONING BOARD APPROVAL ON APRIL 11TH, 2019 AND MEMORIALIZED ON MAY 9TH, 2019, ONE STOREFRONT AND TWO RESIDENTIAL UNITS TOTAL WERE APPROVED. THIS APPLICATION PROPOSES TO CONVERT ONE COMMERCIAL UNIT INTO RESIDENTIAL, MAINTAINING THE THREE PRE-APPROVED TOTAL UNITS.

\*\*\* PARKING REQUIREMENTS REDUCED FROM EIGHT SPACES TO SIX DUE TO ELIMINATION OF COMMERCIAL SPACE.

## LIST OF DRAWINGS:

- ZB-1 COVER SHEET
- ZB-2 ARCHITECTURAL SITE PLAN AND PROPERTY OWNERS
- ZB-3 FLOOR PLAN, REFLECTED CEILING PLAN
- ZB-4 EXIST. & PROPOSED FRONT ELEVATIONS
- ZB-5 EXIST. & PROPOSED SIDE ELEVATIONS

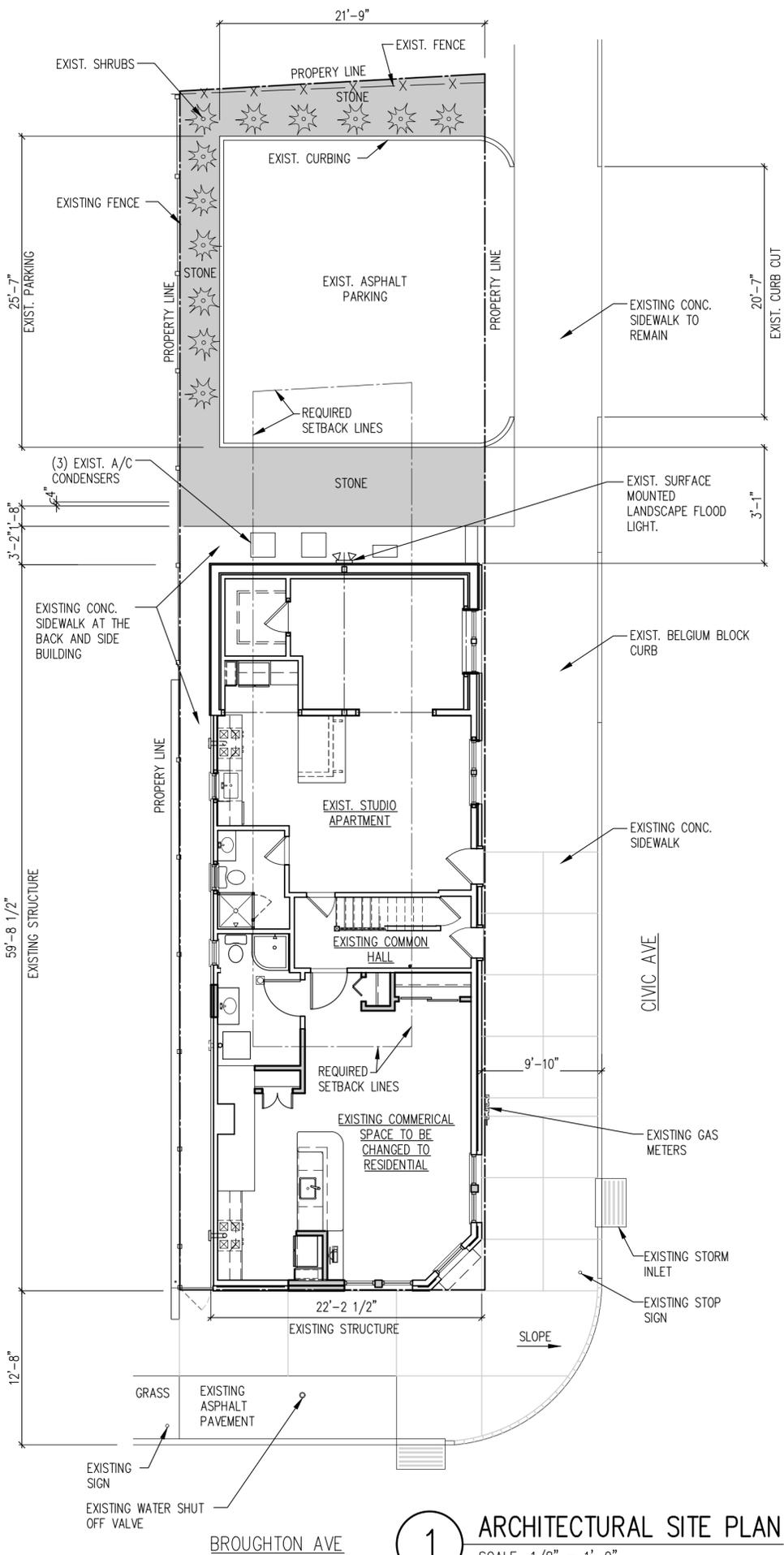
## ZONING BOARD SIGNATURE

APPROVED BY THE ZONING BOARD OF THE TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY AT A MEETING HELD ON \_\_\_\_\_ DATE

CHAIRMAN OF ZONING BOARD \_\_\_\_\_ DATE

SECRETARY OF ZONING BOARD \_\_\_\_\_ DATE

ZONING BOARD ENGINEER \_\_\_\_\_ DATE



**1** ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0"

LIST OF PROPERTY OWNERS

| Block/Lot | Property Location     | Owner                               |
|-----------|-----------------------|-------------------------------------|
| 903 15    | 296 BROUGHTON AVENUE  | 296 BROUGHTON AVE % OWNER           |
| 905 1     | 7 FITZHERBERT STREET  | THORNE, ROSALYN D.+ WASHINGTON, A.  |
| 905 2     | 318 BROUGHTON AVENUE  | AGIRBASER, EDIP                     |
| 905 3     | 11 FITZHERBERT STREET | TARGELIA-MAYORGA, G.+JACOME,C.& G.  |
| 905 42    | 14 ACKERMAN STREET    | VARGAS, CHRISTIAN J.& MARILUZ       |
| 905 43    | 10 ACKERMAN STREET    | BROWN, GAIL C. & DARRYL             |
| 905 44    | 336 BROUGHTON AVENUE  | BROWN, GAIL C.& DARRYL              |
| 905 45    | 322 BROUGHTON AVENUE  | RODRIGUEZ, OLIVIA & JONES, KYLE F   |
| 906 1     | 344 BROUGHTON AVENUE  | ABPLANALP, EDWARD F III             |
| 906 2     | 348 BROUGHTON AVENUE  | AUSTIN, RITA E.                     |
| 911 2     | 10 CIVIC PLACE        | CABAN, JOSE A.JR.                   |
| 911 3     | 14 CIVIC PLACE        | BUDHU, BISSOONDIAL & TAWANNA        |
| 911 5     | 18 CIVIC PLACE        | CERQUEIRA, LISA MARIA               |
| 911 6     | 20 CIVIC PLACE        | AYBAR, JOSE CHECO & GOMEZ, SALMA    |
| 911 7     | 24 CIVIC PLACE        | FETHERMAN, ERIC A.                  |
| 911 22    | 15 SAMPSON STREET     | AYE, MARIA + PARKIN, CHERYL L.      |
| 911 24    | 11 SAMPSON STREET     | JORDAN, MARILYN K                   |
| 911 26    | 9 SAMPSON STREET      | JOHNSON, NATHAN & CHRISTIA          |
| 911 27    | 345 BROUGHTON AVENUE  | KASSEM, MOHAMED AL & MASON, JALEESA |
| 911 30    | 339 BROUGHTON AVENUE  | LOO, SOU & MARIA                    |
| 911 31    | 329 BROUGHTON AVENUE  | GOMEZ, JOSEFA & HERRERA, LEOPOLDO   |
| 912 1     | 6 STONE STREET (2)    | HWANG, JAMES                        |
| 912 3     | 16 STONE STREET       | RODRIGUES DASILVA, VITOR & GRETTEL  |
| 912 6     | 18 STONE STREET       | MASSANET, JULIO HERNANDEZ           |
| 912 7     | 20 STONE STREET       | INCE, WANDA                         |
| 912 8     | 22 STONE STREET       | ITALIANO, PHILLIP & LISA            |

LIST PUBLIC UTILITIES

|  |   |
|--|---|
| Township of Bloomfield<br>Municipal Clerk<br>1 Municipal Plaza<br>Bloomfield, NJ 07003 | Verizon<br>PO Box 152206<br>Irving, TX 75015  |
| PSEG<br>Manager - Corporation Properties<br>80 Park Plaza T-6B<br>Newark, NJ 07102     | Passaic Valley Sewage Commission<br>600 Wilson Avenue<br>Newark, NJ 07105   |
| New Jersey Turnpike Authority<br>PO Box 5042, 581 Main Street<br>Woodbridge, NJ 07095  | County of Essex<br>County Clerk<br>Hall of Records<br>465 Dr. Martin Luther King, Jr. Blvd.<br>Newark, NJ 07102       |
| Passaic Valley Water Commission<br>1525 Main Avenue<br>PO Box 230<br>Clifton, NJ 07015 | Norfolk Southern RR Corporation<br>3 Commercial Place<br>Norfolk, VA 23510  |
| City of Newark Water Bureau<br>1294 McBride Avenue<br>Little Falls, NJ 07424           | Norfolk Southern RR Corporation<br>3 Commercial Place<br>Norfolk, VA 23510  |
| North Jersey Dist. Water Supply Comm.<br>741 Ringwood Avenue<br>Wanaque, NJ 07465      | <b>You MUST mail a notice to all of these public utilities along with the property owners within 200 square feet.</b> |
| Transcontinental Gas Pipelines<br>PO Box 2400<br>Tulsa, OK 74102                       |   |
| Township of Bloomfield<br>Sub. Cable/Comcast<br>800 Rahway Avenue<br>Union, NJ 07083   |   |

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client/project:  
**Renovation, Alteration, and Change-Of-Use From Commercial to Residential For The:**  
**Ground Floor - Unit #1 321 Broughton Ave. Bloomfield, NJ 07003**  
For:  
**Frank Gabriele 125 Kenzel Ave. Nutley, NJ 07110**

consultant:

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George Azrak, R.A.  
New Jersey License AI10437  
Pennsylvania License RA404023

drawing title:  
**ARCHITECTURAL SITE PLAN AND PROP. OWNERS**

drawing number  
**ZB-2**

client/project:  
**Renovation, Alteration, and  
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 From Commercial to  
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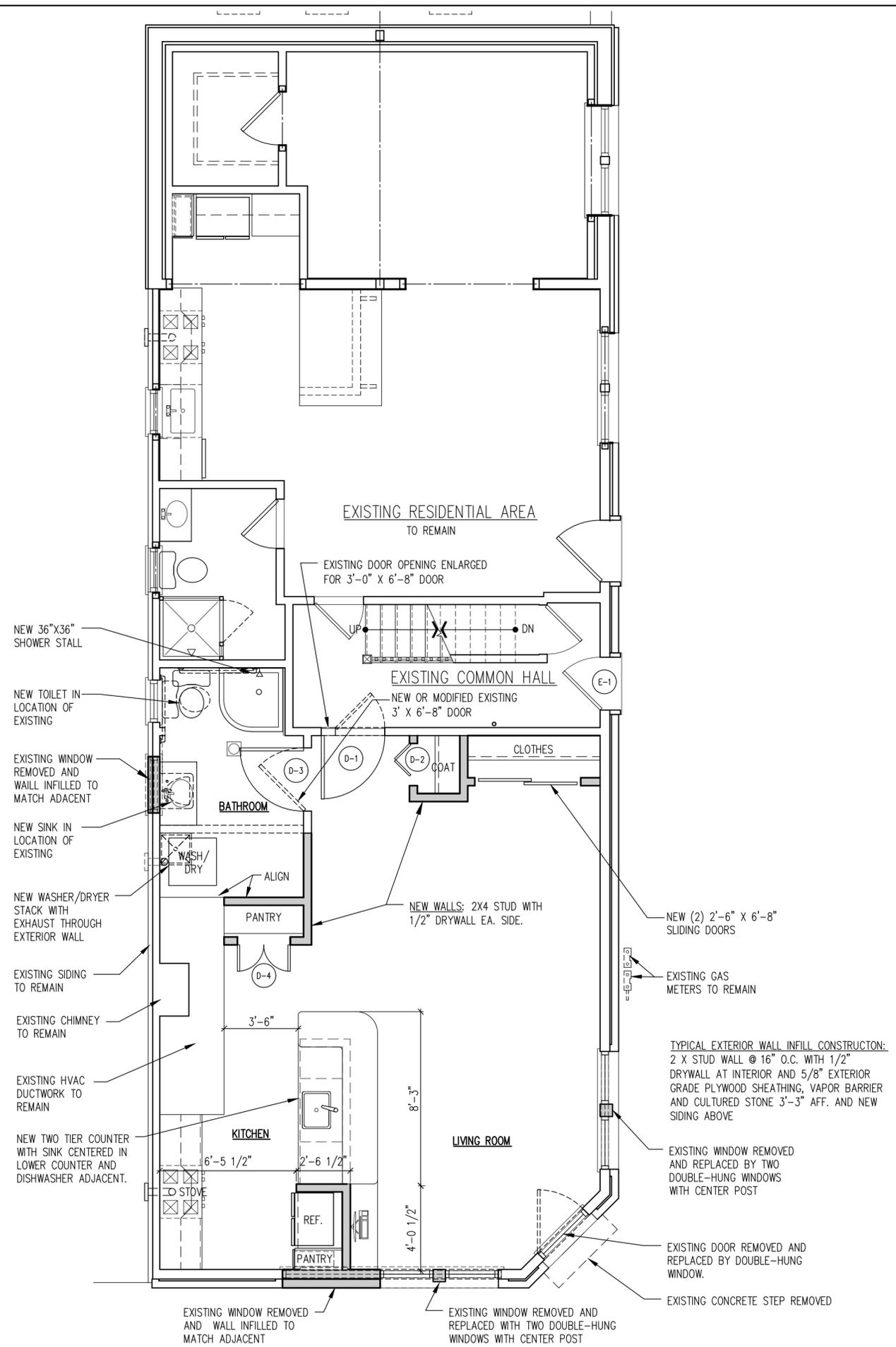
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drawing title:  
**FLOOR PLAN  
 AND REFLECTED  
 CEILING PLAN**

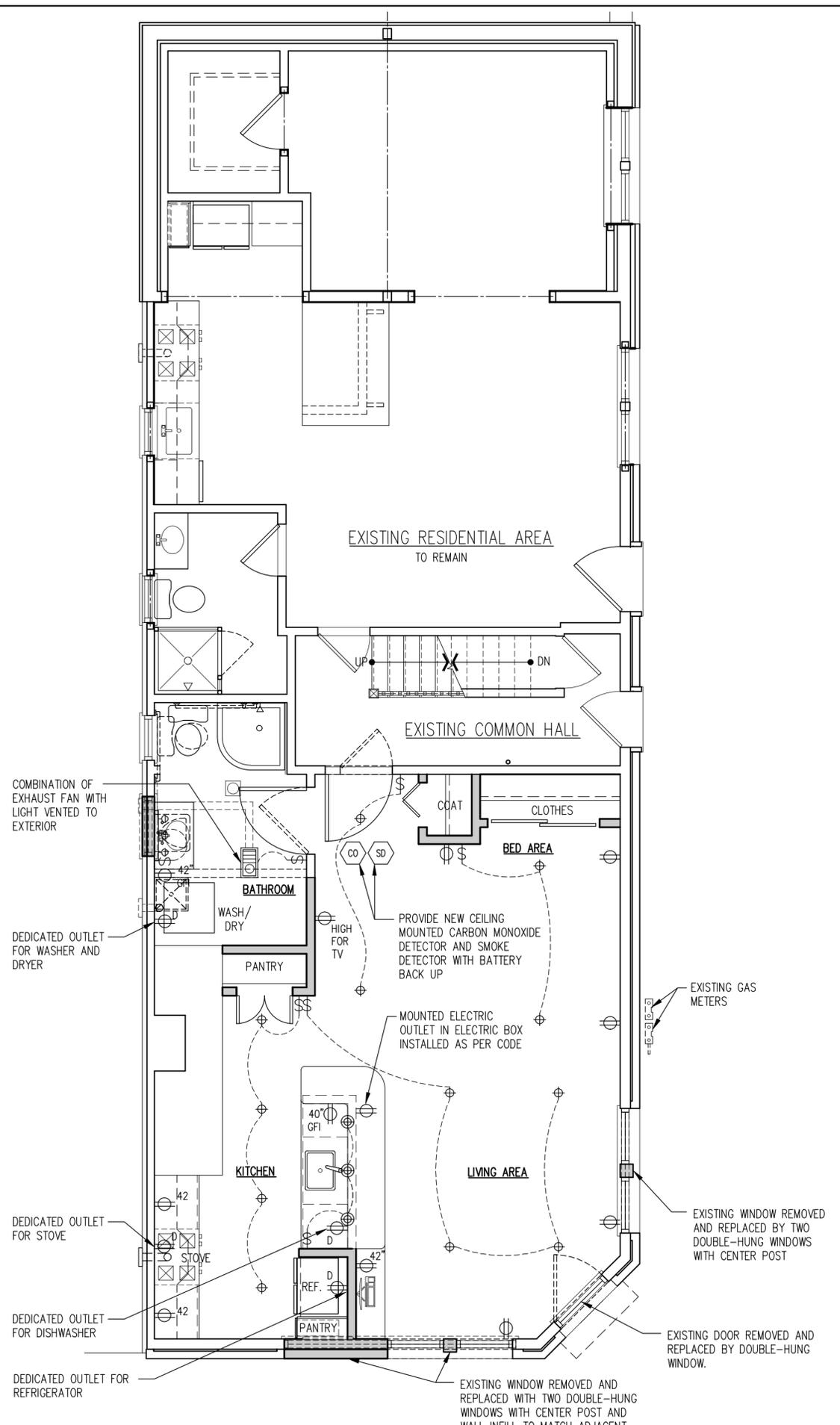
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**ZB-3**



**1 FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

TOTAL AREA:  
 STUDIO APARTMENT: 564 S.F.



**2 REFLECTED CEILING PLAN**  
 SCALE: 1/4" = 1'-0"

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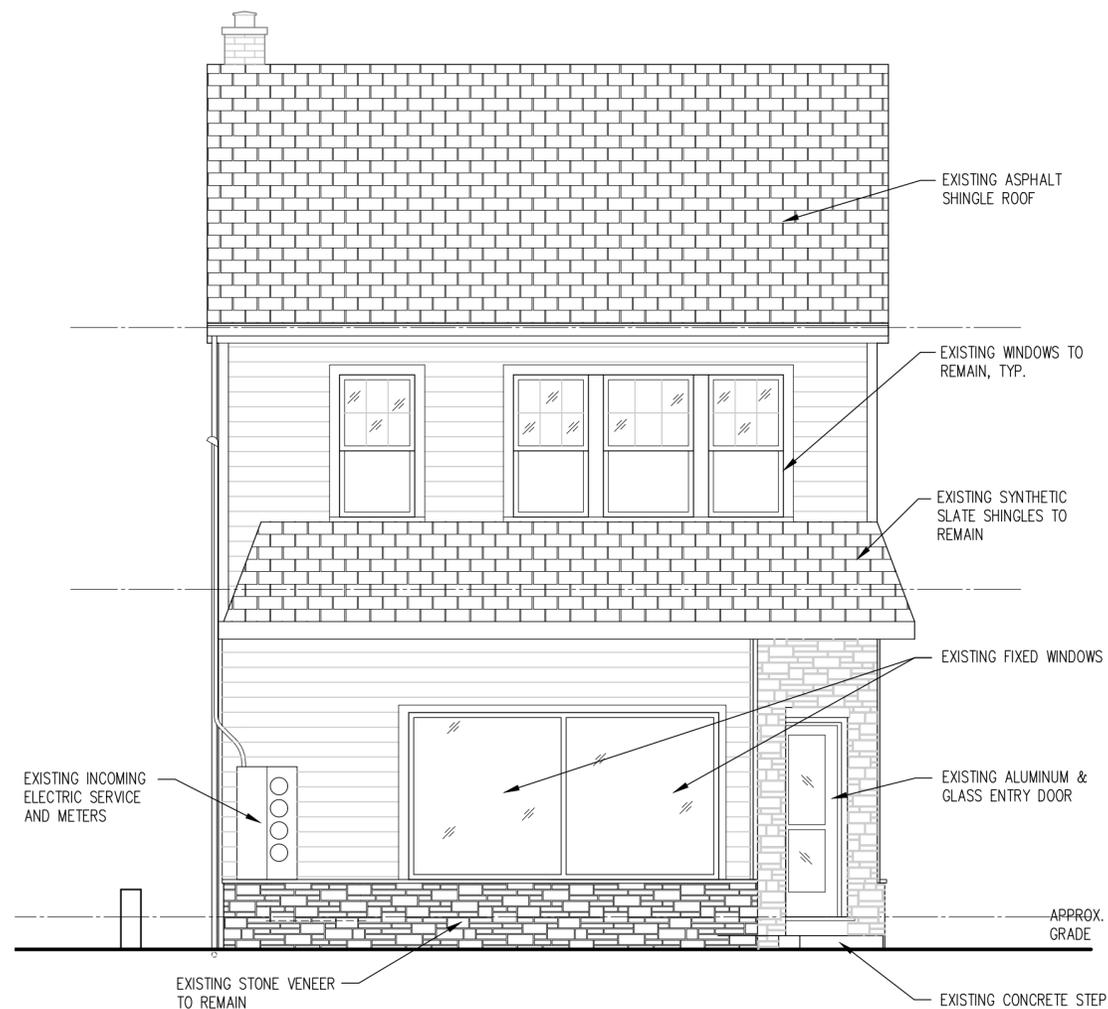
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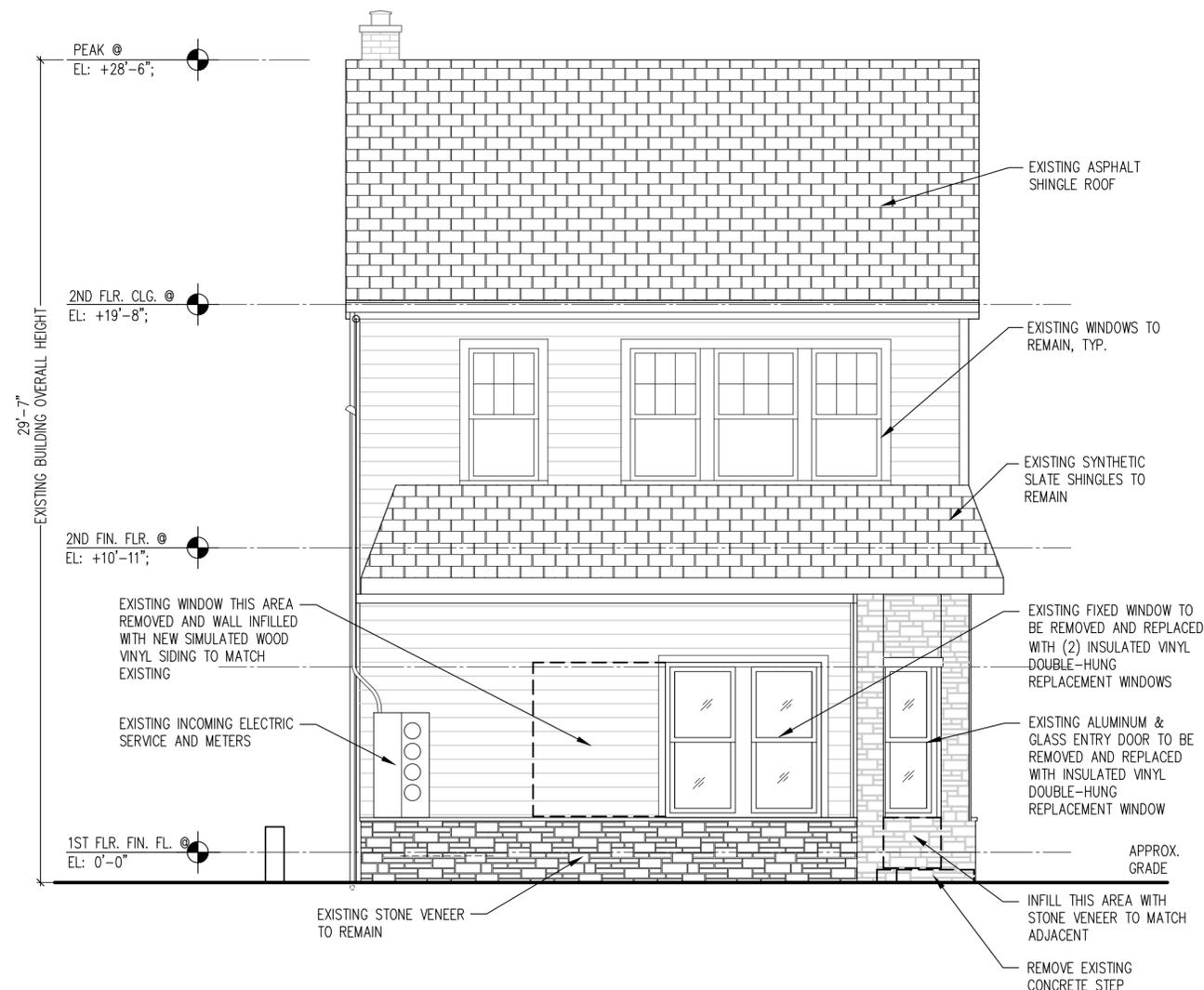
**FRONT & SIDE  
ELEVATIONS**

drawing number

**ZB-4**



**1** EXISTING FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



**2** PROPOSED FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

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drawing title:

**EXISTING AND  
PROPOSED  
SIDE ELEVATIONS**

drawing number

**ZB-5**



**1** EXISTING SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



**2** PROPOSED SIDE ELEVATION  
SCALE: 1/4" = 1'-0"