

MARUCCI ENGINEERING ASSOCIATES, LLC

ENGINEERS • SURVEYORS • PLANNERS

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February 20, 2026

Honorable Chairman and
Members of the Zoning Board
Township of Bloomfield
One Municipal Plaza
Bloomfield, NJ 07003

Re: 185 Thomas Street
Map 10 Block 224 Lot 21
Francois Rosefort (owner/applicant)
Zone: R-1B, Single Family Residence District

Dear Chairman and Members of the Zoning Board,

This application requests variance relief to retain a four (4) vehicle carport with roofed solar panels, currently under construction in the rear of the subject property.

My office has reviewed the following documentation and plans for the preparation of this report.

- + Standard Development Application
- + Property Survey prepared by Babs Engineering, PC, Babatunde Adewunmi, PE-LS, dated December 13, 2025
- + Engineering Site Plans prepared by GP Engineering Corporation, Paul J. Przybylinski, Professional Engineer, dated December 2025

The subject property contains an existing, nonconforming two family dwelling, situated in the R-1B, Single Family Residence District.

The subject property also contains several existing accessory buildings; including a two (2) car detached garage, two (2) sheds, and a gazebo.

Currently, under construction, is a four (4) vehicle carport, with a proposed solar panel roof.

Construction has been stopped due to violations, whereby zoning and construction permits were not applied for, nor approved or issued prior to commencement of the work.

Violations were issued by Robert Beese, Senior Deputy Zoning Officer on November 21, 2025, and the matter is pending in Municipal Court.

ATTACHMENT #1

As shown on the attached photographs, taken by Robert Beese on December 1, 2025, the steel support columns & footings, and the steel overhead superstructure, are already installed.

The remaining portion of the carport, pending installation, are the solar panels which will span over the superstructure.

ATTACHMENT #2

This is a portion of the property survey showing the location of the proposed carport, and the dimensions of the installed steel columns, in relation to the northerly side yard setback, at 4.09 feet, 4.24 feet and 4.34 feet, respectively, [from the column centerline to the northerly side property line].

The engineering site plan shows the proposed solar panel system extending over the carport to the northerly side property line.

[Sheet 3 shows the highlighted area over the parking area which will be the extent of the solar panel span]

ATTACHMENTS #3, 4 & 5

This solar panel carport is a prefabricated installation offered by Engineered Power Solutions, Inc. of Templeton, California, with specifications and details provided by CHIKOUSA, Premier Carport Generic Design.

The applicant has submitted one set of design specifications, and installation manual, for review by my office as part of this application.

ATTACHMENTS #6 & 7

Attached are side profiles of the proposed carport & solar panel installation, with dimensions and heights. NOTE: The dimensions shown are in inches.

REQUIRED VARIANCE RELIEF

The application requires Class C Bulk and Setback variance relief, as follows:

- Section 315-36(A)(4): No more than two (2) accessory buildings shall be permitted on any one residential lot.
Currently there are four (4) existing accessory buildings on the subject property: a gazebo, two car detached garage, and two (2) sheds.
The carport is considered a fifth (5th) accessory building.

- Section 315-36(B)(2): Except for garages, no accessory building shall exceed 80 square feet. The carport is approximately [36.78 feet by 14.77 feet] or 543 square feet in size at the base [column area], and [45.38 feet by 22.6 feet] or 1,026 square feet in size at the roof [solar panels]. Note: The solar panels overhang the steel structure on all four sides by approximately four (4) feet.
- Section 315-36(B)(3): Except for garages, which shall not exceed a height of fifteen (15) feet, No accessory building shall exceed a height of eight (8) feet. The carport varies in height from a minimum of ten (10) feet to a maximum of twelve (12) feet, due to the sloped solar panel design. [See Attachment #7]
- Schedule A: Bulk and Setback Regulations. The minimum required side yard setback for accessory buildings is five (5) feet. While the steel columns are set approximately 4.09 feet, 4.24 feet & 4.34 feet from the side property line, the overhead roofed solar panels will overhang the columns on all sides, and are situated approximately on the side property line, having a zero (0) northerly side yard setback. Therefore, a zero (0) northerly side yard setback is proposed, where a minimum five (5) feet side yard setback is required.

COMMENTS/RECOMMENDATIONS

- Testimony shall be provided by the applicant or applicant's professionals in support of the required variance relief.
- It appears, looking at the photograph on Attachment #1, the proposed roofed solar panels may be in conflict with the existing detached garage. Sheet #3 of the Engineering Site Plans also show the roofed solar panels over the existing garage. Testimony shall be provided as to how the solar panels will be installed by the garage, without damage to the garage roof, since the solar panels are specifically sized to fit over the steel superstructure.
- Testimony shall be provided by the applicant or applicant's professionals with respect to the warning stated on Attachment #5, "Photovoltaic Hazard Control and Structural Building Safety". Is this structure being installed utilizing trained & qualified personnel in accordance with the directive as shown on Attachment #5?
- Testimony shall be provided as to how the electrical wiring will be installed from the solar panels to the dwelling's electrical panel, via underground conduit or by other means. No details are provided showing how electric current will be transferred from the solar panels to the dwelling.

- The board should consider any potential adverse effects from this installation on the adjacent property to the north, as it relates to the location of this structure along the common property line, and to its excessive height, and to potential shadowing effects & sunlight blockage over the property line.
- Should the Zoning Board act favorably on this installation, a condition of approval shall require the applicant to obtain the required zoning permit and construction permits, including inspection of the already-installed concrete footings as it relates to structural integrity of the structure, with submission of signed & sealed structural plans and electrical plans of the installation, prepared by a NJ licensed Professional Engineer.

My office has no further comments at this time.

However, my office reserves the opportunity for further comments/recommendations pending testimony received during the hearing process.

Respectfully submitted,

A handwritten signature in cursive script that reads "A Marucci".

Anthony Marucci, PE-LS-PP
Zoning Board Engineer

Dec 1, 2025 9:05:54 AM

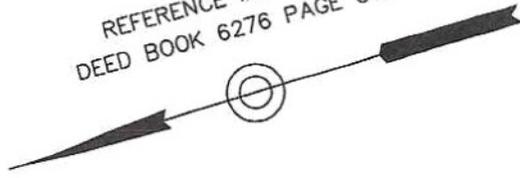


Dec 1, 2025 9:05:52 AM



RET. WALL
ABUTMENT

REFERENCE MERIDIAN
DEED BOOK 6276 PAGE 0065



S66°30'W
62.10'W
TONEY'S BROOK
CHAIN LINK FENCE
GRASS/SLATE
RET. WALL
S41°20'W
19.93'

CONC. PAD
CONC. PAD
CONC.
SHED
SHED
PAVED
GARAGE
DRIVEWAY
PAVED
STEEL COLUMN FOOTING (TYP.)
DECORATIVE VINYL FENCE
4.24' 4.34' 18.27' 18.91'

0.36' OUT (SE)
1.05' OUT (SW)

N73°20'E 231.36"
4.09' 18.51' 18.27' 4.24' 4.34'
CURB
BLOCK 224
LOT 21
PAVED DRIVEWAY

GRASS
PAVER
CURB
CURB
GRASS
DECK
TO BSM'T
DECK
AC
CONC.
DECORATIVE VINYL FENCE
S73°20'W 185.73"
PAVED DRIVEWAY

CHAIN LINK FENCE
EVERGREEN SHRUB
WOOD CURB
PAVED
8.33'
1.78'
14.11'
15.76'
24.41'
4.04'
13.07'
3.49'
16.24'
13.56'
11.55'
11.97'
9.59'
14.02'
4.75'
5.92'
13.17'
16.25'
2 1/2 STORY FRAME DWELLING #185
OPEN

2 1/2 STORY
FRAME
DWELLING

2



ENGINEERED
POWER SOLUTIONS

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Templeton, CA 93465
805-296-3171
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STRUCTURAL DOCUMENTATION PACKET

DATE: 8/28/2024
PROJECT NUMBER: 23-CHK004

PROJECT:
Chiko Premier Carport Generic Design
Comprehensive Structural Analysis
State of New Jersey

CLIENT:
Chiko Solar Mounting Solutions
No. 878 Cheng Lui Rd.
Jaiding District, Shanghai 201808, China

PREPARED BY:
Rachel Keith
Engineered Power Solutions, Inc.

ENGINEER OF RECORD:
Paul J. Przybylinski
GP Engineering Corporation



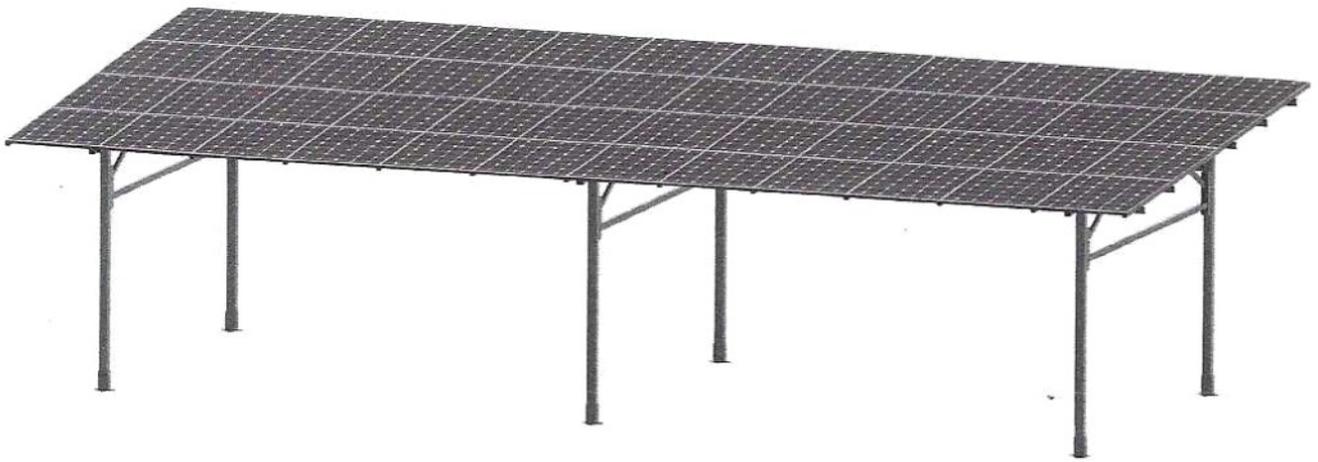
PACKET EXPIRES ON 12/31/26 AND IS SUBJECT TO
ANNUAL REVIEW & RENEWAL

This packet is valid for this project at 185 Thomas Street, Bloomfield, NJ 07003



CHIKOUSA

CK- | STEEL SOLAR CARPORT | GAZEBO



**4-CAR PREMIER
STEEL SOLAR CARPORT | GAZEBO
INSTALLATION MANUAL**

VERSION: 02.10.25 VO2 | ENG

WARNING**Photovoltaic Hazard Control &
Structural Building Safety****(To Reduce Risk of Injury-Read and Follow All Instructions)**

The installation of solar electric panels should only be performed by trained and qualified personnel. Unauthorized persons and children should not be allowed near the solar electric installation. Follow all permit, installation, and inspection requirements to include all applicable local, regional, and national electrical codes. Follow the safety precautions of all other system components.

Structural installation shall comply with all relevant local government standards, manufacturer's instructions and specification and safe building practices.

Follow the risk management process prior to commencing work- including identifying all potential hazards and assessed risks while eliminating or mitigating them from the jobsite.

Consult with all approved competent parties who will be involved in working on the jobsite. Develop safe working procedures for installing the structure and the solar panels using information obtained during the risk management process.

Wear all required Personal Protective Equipment during every phase of construction.

Always use equipment/tools/machinery safely and properly. Components are designed for "single use only", i.e. not for multiple construct and deconstruct projects.

Maintenance can only be performed by qualified personnel

- Any loose components or fasteners shall be re-tightened in accordance with these instructions
- Any components showing signs of damage shall be replaced immediately



