

Broughton Avenue - Block 811, Lot 58
 Township of Bloomfield, Essex County, New Jersey
 (Neighborhood Business) Zone

Requirement / Use	Ordinance	Standard	Existing Conditions	Proposed Conditions	Status
	§315-38B(2)	Various	Office / Residential	Office / Residential	Complies
Floor Area - studio apartment (s.f.)	§315-35F(4)	550 s.f.	-	-	-
Floor Area - 1 bedroom apartment (s.f.)	§315-35F(4)	750 s.f.	-	-	-
Floor Area - 2+ bedroom apartment (s.f.)	§315-35F(4)	900 s.f.	1,100 s.f.	1,100 s.f.	Complies
Lot Area (s.f.)	§315- Att. 1	-	9,133.94 s.f.	9,133.94 s.f.	-
Lot Width (ft.)	§315- Att. 1	-	45.00 ft.	45.00 ft.	-
Front Yard Setback (ft.)	§315- Att. 1	-	0.0 ft.	0.0 ft.	-
Rear Yard Setback (ft.)	§315- Att. 1	-	151.26 ft.	151.26 ft.	-
Side Yard Setback (ft.)	§315- Att. 1	-	0.68 ft. / 7.25 ft.	0.68 ft. / 7.25 ft.	-
Side Yard Setback - Accessory (ft.)	§315- Att. 1	-	4.43 ft.	4.43 ft.	-
Rear Yard Setback - Accessory (ft.)	§315- Att. 1	-	5.00 ft.	5.00 ft.	-
Building Coverage (%)	§315- Att. 1	90%	1,898.29 s.f. / 9,133.94 s.f. = 20.8%	2,948.29 s.f. / 9,133.94 s.f. = 32.3%	Complies
Impervious Coverage (%)	§315- Att. 1	90%	7,970.83 s.f. / 9,133.94 s.f. = 87.3%	8,578.63 s.f. / 9,133.94 s.f. = 93.9%	Variance
Floor Area Ratio	-	-	0.33	0.44	-

Waivers / Variances

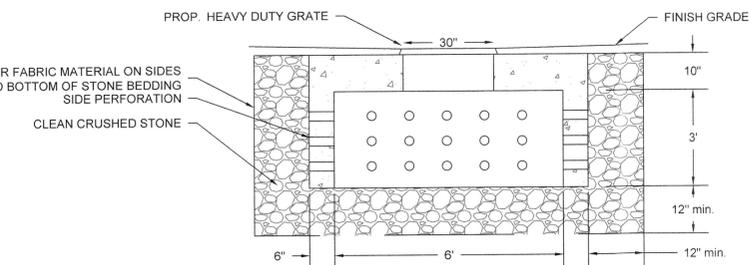
- §315-30D(1) - Residential Lots in the B-2 Zone shall have landscaped open areas of not less than 10% - 12.7% existing, 6.1% proposed - Waiver
- §315-30Q(7) - Two-Way Aisle Width - 24 feet required, 10.69 feet existing/proposed - Existing Non-Conformity
- §315-30Q(8) - Two-Way Curb Cut - 22 feet required - Existing Non-Conformity
- §315-30Q(13)d - Min. Parking Setback, B-2 Zone - 5 feet required, 2.20 feet existing/proposed - Existing Non-Conformity

Requirement: There shall be no minimum parking requirement within the CBD or B-2 Zones, except for all new buildings and any increase in gross leasable floor area, where off-street parking shall be required.

Use: 1 parking space / 300 s.f. OR 2 parking spaces / 3 employees at peak staffing

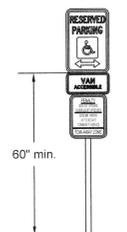
Requirement: 50 square feet of office space / 300 = 4 parking spaces required

8 parking spaces provided (Complies)

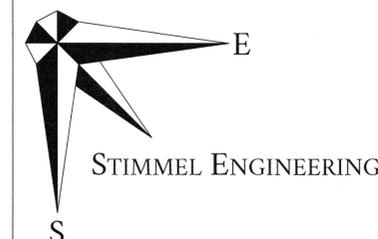


- NOTES
- SEEPAGE PIT TO BE INSPECTED ANNUALLY BY PROPERTY OWNER. DEBRIS/SEDIMENT TO BE CLEANED AS NEEDED.
 - SEEPAGE PIT RATED FOR HS-20 LOADING.
 - SEEPAGE PIT IS ONE-PIECE UNIT.
 - CAPACITY OF SEEPAGE PIT IS 84 CUBIC FEET.
 - SOIL ASSUMPTIONS TO BE FIELD VERIFIED PRIOR TO INSTALLATION OF SEEPAGE PIT.
 - REFER TO GRADING PLAN FOR DIMENSIONS OF STONE BEDDING.

SEEPAGE PIT W/STONE BEDDING



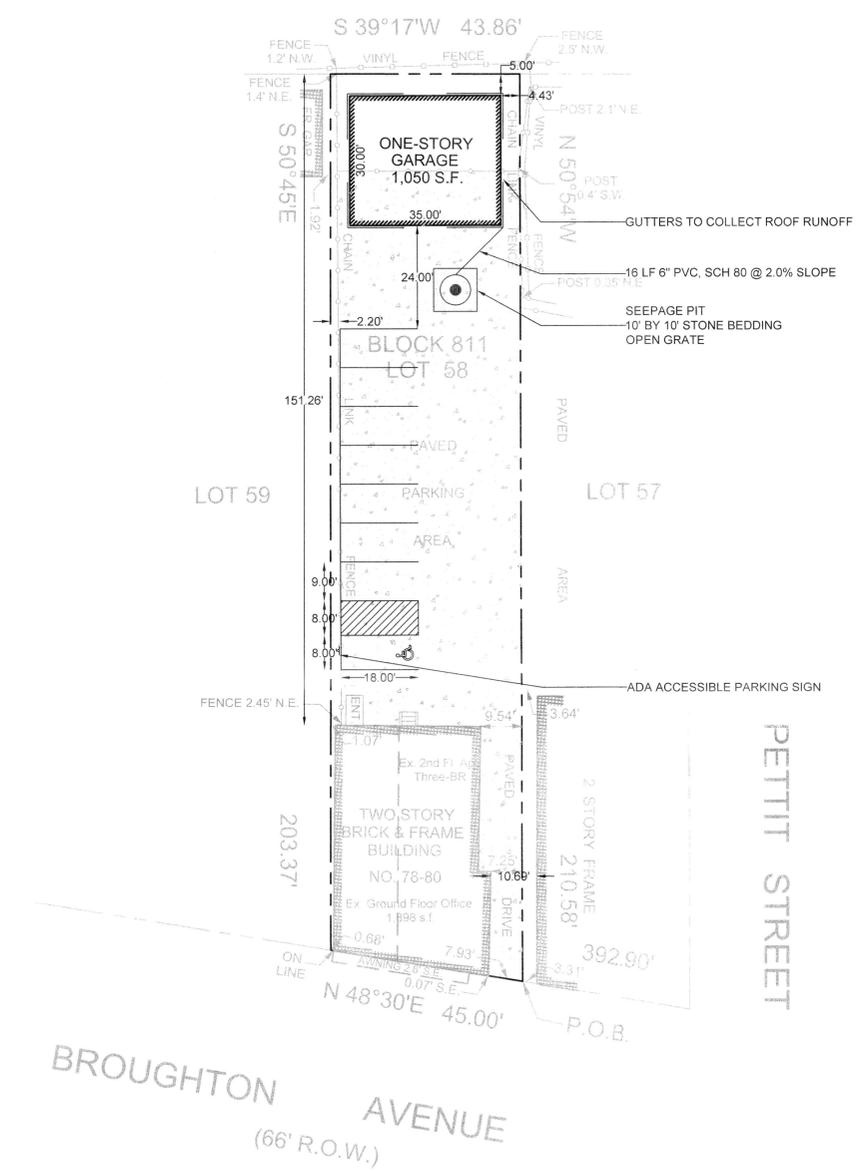
ADA PARKING SIGN (R7-8) - 12" x 18"
 VAN ACCESSIBLE PLACARD (R7-8P) - 12" x 6"
 PENALTY PLACARD - 10" x 12"



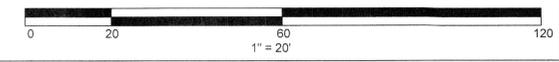
PO Box 280
 Rutherford, NJ 07070
 (201)636-2478
 NJDCA Authorization #: 28215

SITE PLAN

Prepared for Superior Tech HVAC & R Inc.
 78-80 Broughton Avenue
 Block 811, Lot 57
 Township of Bloomfield
 Essex County
 New Jersey



This site plan has been prepared based on a survey by Gary S. Moldovany, P.L.S., of Richard J. Hingos, Inc., dated December 13, 2023.



Revisions	Rev #	Date	Description
	1		
	2		
	3		
	4		
	5		

William P. Stimmel
 William P. Stimmel, P.E.
 NJ License # 45161

Designed by: WPS
 Drawn by: WPS
 Checked by: WPS
 Scale: 1" = 20'
 Date: 02/24/25
 Project #: N/A