

VARIANCE PLAN FOR BRH 18 JFK REALTY LLC

100-118 J.F.KENNEDY DRIVE NORTH,
TOWNSHIP OF BLOOMFIELD
ESSEX COUNTY, NEW JERSEY
BLOCK 130 LOT 1

INDEX OF DRAWINGS

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FIG-2	EXISTING CONDITIONS PLAN	E2 PROJECT MANAGEMENT, LLC
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FIG-5	CONSTRUCTION DETAILS	E2 PROJECT MANAGEMENT, LLC

PROJECT DESCRIPTION

PROJECT CONSISTS OF THE INTERIOR RENOVATION OF AN EXISTING TWO-STORY 52,000 ± SF BUILDING IN THE M-1 ZONE TO PROVIDE SPACE FOR TWO SEPARATE TENANTS/USES. THE TWO PRINCIPAL USES INCLUDE AN INDUSTRIAL USE WITH MODERATE HAZARD FACTORY INDUSTRIAL AND A COMMERCIAL USE WITH MODERATE HAZARD STORAGE. ALL SITE FEATURES ARE TO REMAIN INCLUDING LIGHTING AND LANDSCAPING. PROPOSED SITE IMPROVEMENTS CONSIST OF RE-STRIPING THE EXISTING PARKING LOT ON-SITE. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING IMPROVEMENTS.

ZONING DATA

ZONE M-1 (GENERAL INDUSTRIAL)	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	1 ACRE (43,560 SF)	1.94 ACRES (84,506 SF)	1.94 ACRES (84,506 SF)
MINIMUM LOT WIDTH (FT)	150 FT	281.1 FT	281.1 FT
MINIMUM FRONT YARD (FT.)	20 FT 40 FT (WILLOW ST) **	0 FT *	0 FT *
MINIMUM REAR YARD (FT)	20 FT	15 FT *	15 FT *
MAXIMUM SIDE YARD (FT)	10 FT	15 FT *	15 FT *
MAXIMUM ACCESSORY BUILDING SIDE/REAR YARD (FT)	10 FT	N/A	N/A
MAXIMUM BUILDING COVERAGE	65% (54,929 SF)	62.2% (52,558 SF)	62.2% (52,558 SF)
MAXIMUM LOT COVERAGE	85% (71,830 SF)	95.6% (80,785 SF) *	95.6% (80,785 SF) *
MAXIMUM FAR	NONE	N/A	NONE
MAXIMUM BUILDING HEIGHT	60 FT	< 60 FT	< 60 FT

* - EXISTING NON-CONFORMING CONDITION
** - FRONT YARD SETBACK DOUBLE (40 FT) WHEN ABUTTING A RESIDENTIAL ZONE
V - VARIANCE APPROVAL
N/A - NOT APPLICABLE

OFF-STREET PARKING REQUIREMENTS §315.41.B.)

PROPOSED USES:
BUSINESS/OFFICE:
REQUIRED: 1 PER 300 SF OR 2 FOR EACH 3 EMPLOYEES ON THE LARGEST SHIFT, WHICHEVER IS GREATER
MAXIMUM NO. OF EMPLOYEES ON ANY SHIFT = 4 EMPLOYEES (4 X 2/3 = 2.67) = 3 SPACES
8,357 SF OF OFFICE SPACE/ 300 SF = 28 SPACES REQUIRED

INDUSTRIAL MANUFACTURING:
REQUIRED: 1 PER 500 SF OR 2 FOR EACH 3 EMPLOYEES ON THE LARGEST SHIFT, WHICHEVER IS GREATER
MAXIMUM NO. OF EMPLOYEES ON ANY SHIFT = 20 EMPLOYEES (20 X 2/3 = 13.33 = 14 SPACES
27,174 SF OF OFFICE SPACE/ 500 SF = 55 SPACES REQUIRED

INDUSTRIAL STORAGE:
REQUIRED: 1 PER 1,000 SF OR 2 FOR EACH 3 EMPLOYEES ON THE LARGEST SHIFT, WHICHEVER IS GREATER
36,181 SF OF OFFICE SPACE/ 1,000 SF = 37 SPACES REQUIRED

REQUIRED TOTAL NO. OF PARKING SPACES = 28 + 55 + 37 = 119 SPACES
PROPOSED NO. OF PARKING SPACES = 35 SPACES (VARIANCE)

OFF-STREET LOADING REQUIREMENTS

§315-30.P.(c)
PRINCIPAL BUILDING SIZE = 52,558 SF
REQUIRED NO. OF OFF-STREET LOADING BERTHS FOR 52,558 SF BUILDING = 2
PROVIDED NO. OF LOADING BERTHS = 4

REQUESTED WAIVERS

1. OFF-STREET PARKING LANDSCAPING (§315-30.O.(3))
A MINIMUM OF 10% OF ANY SURFACE PARKING LOT TO BE LANDSCAPED AND PROVIDED 1 SHADE TREE FOR EVERY 20 PARKING SPACES
PROVIDED 3.8% OF PARKING LOT LANDSCAPED

REQUIRED PERMITS

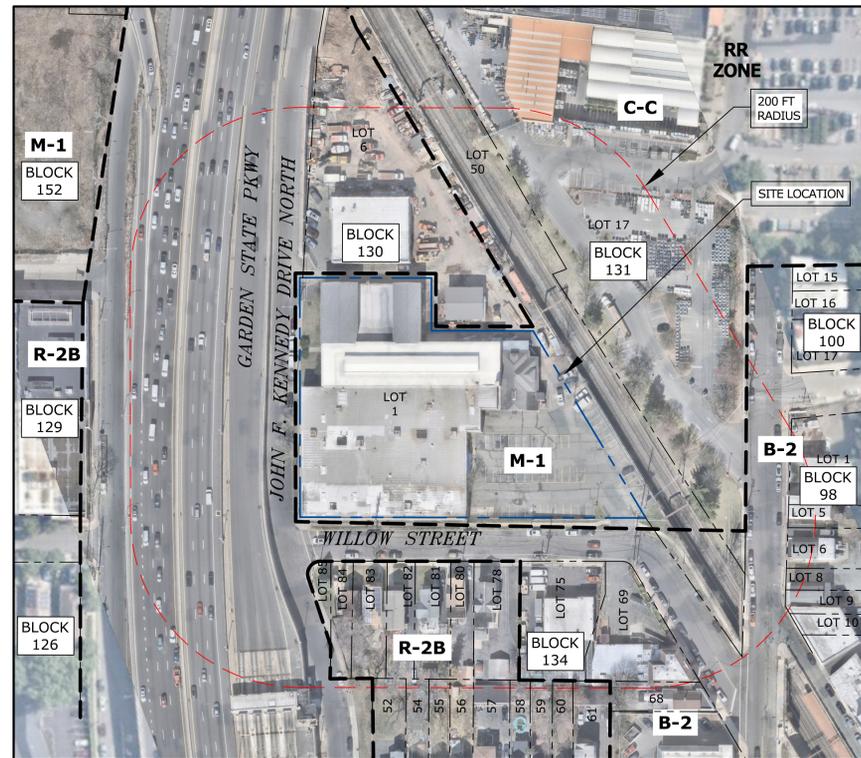
• CONSTRUCTION PERMIT - BUILDING DEPARTMENT

TREE REMOVAL

• TOTAL NUMBER OF TREES TO BE REMOVED = 0

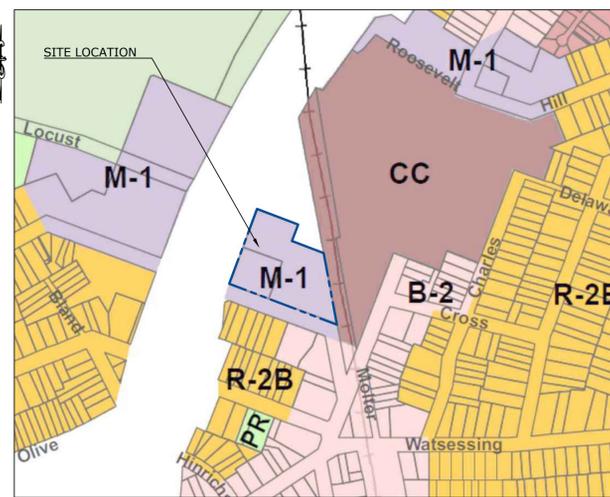
NOTES

- NO SOIL EROSION AND SEDIMENT CONTROL PLAN CERTIFICATION REQUIRED.
- NO CHANGES TO SITE DRAINAGE PROPOSED. SITE IS NOT CONSIDERED A MAJOR DEVELOPMENT AS PER NJAC 7:8.
- NO CHANGES TO SITE UTILITIES PROPOSED.



SITE LOCATION TAKEN FROM: MUNICIPAL TAX & ZONING MAPPING, NEARMAP 2025
SCALE: 1"=100'

— — — — — PROPERTY LINE
- - - - - 200 FT BUFFER
- - - - - ZONING BOUNDARY
C-C ZONE
130 BLOCK #
1 LOT #



ZONING MAP
SCALE: 1"=100'

200' PROPERTY LIST

Block Lot	Property Location Additional Lot	Property Class	Owner Address City, State	Zip Code
130 6	130-158 J.F.KENNEDY DR.N.	4A	J.E. BLOOMFIELD, L.L.C. 130 J.F.KENNEDY DR.N. BLOOMFIELD, NJ	07003
130 50	11 WILLOW ST	5A	NORFOLK SOUTHERN RR CORP. 3 COMMERCIAL PLACE NORFOLK, VA	23510
131 17	60 ORANGE STREET	4A	7978 CCB 13, LLC, 7978 COOPER CREEK BLVD UNIVERSITY PARK, FL	34201
134 52	33 MYRTLE STREET	2	FELLOT, NIDSALY 33 MYRTLE STREET BLOOMFIELD, NJ	07003
134 54	31 MYRTLE STREET	2	BECERRA, RUTH E. 31 MYRTLE STREET BLOOMFIELD, NJ	07003
134 55	29 MYRTLE STREET	2	PEPINE, GEORGE LAURENTU 29 MYRTLE ST BLOOMFIELD, NJ	07003
134 56	27 MYRTLE STREET	2	CLEMENT, VALLERY J ET AL. 27 MYRTLE ST BLOOMFIELD, NJ	07003
134 57	25 MYRTLE STREET	2	MAHABIR, FRANK & KAREN 25 MYRTLE STREET BLOOMFIELD, NJ	07003
134 75	12-18 WILLOW STREET	4B	WILLOW STREET BND, LLC 12-18 WILLOW ST BLOOMFIELD, NJ	07003
134 78	20-22 WILLOW STREET	2	LUGO, JULIO 20-22 WILLOW STREET BLOOMFIELD, NJ	07003
134 80	24 WILLOW STREET	2	VALENZUELA, PAUL + ATAPUMA, MARIANITA 24 WILLOW STREET BLOOMFIELD, NJ	07003
134 81	28 WILLOW STREET	2	PEREZ, KATHRYN 28 WILLOW ST BLOOMFIELD, NJ	07003
134 82	30 WILLOW STREET	2	SMITH, CARMEN + VANCE, TYONNA 30 WILLOW ST BLOOMFIELD, NJ	07003
134 83	32 WILLOW STREET	2	DOMINGUEZ-MENDEZ, STEVEN 32 WILLOW STREET BLOOMFIELD, NJ	07003
134 84	34 WILLOW STREET	2	LIZAMA, TYREL 34 WILLOW ST	

UTILITIES

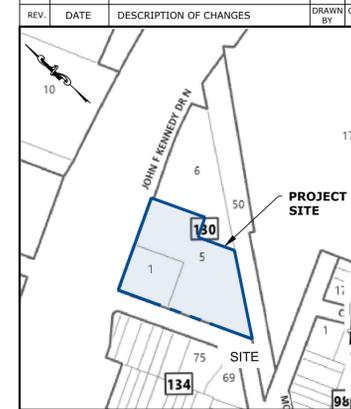
Township of Bloomfield Municipal Clerk 1 Municipal Plaza Bloomfield, NJ 07003	Verizon PO Box 152206 Irving, TX 76015
JBEG Manager - Corporation Properties 80 Park Plaza T-6B Newark, NJ 07102	Pasaden Valley Sewage Commission 600 Wilson Avenue Newark, NJ 07105
New Jersey Turnpike Authority PO Box 8042, 581 Main Street Woodbridge, NJ 07095	County of Essex County Clerk Hall of Records 465 De. Martin Luther King, Jr. Blvd. Newark, NJ 07102
Pasaden Valley Water Commission 1525 Main Avenue PO Box 230 Clifton, NJ 07015	Norfolk Southern RR Corporation 3 Commercial Place Norfolk, VA 28510
City of Newark Water Bureau 1234 Middle Avenue Little Falls, NJ 07424	North Jersey Dist. Water Supply Comm. 741 Ringwood Avenue Wanaque, NJ 07065
Transcontinental Gas Pipelines PO Box 2402 Tulsa, OK 74102	Township of Bloomfield Sub. Cable/Comcast 800 Railway Avenue Union, NJ 07088

Bloomfield Zoning

- Neighborhood Business (B-2)
- Central Business District (CBD)
- Community Commercial (CC)
- General Industrial (M-1)
- Professional Office/Residential (POR)
- Regional Office (RO)
- Public (P)
- Public/Recreational (PR)

SCHEDULE OF REVISIONS

REV.	DATE	DESCRIPTION OF CHANGES	DRAWN BY	CHK. BY



KEY MAP
TAKEN FROM TOWNSHIP TAX MAP N.T.S.

OWNER/APPLICANT

BRH 18 JFK REALTY, LLC
110-118 JFK PARKWAY DRIVE NORTH
BLOOMFIELD, NJ 07003

N.J. ENGINEERING CERTIFICATE OF AUTHORIZATION No. 24GA28118200

E2 PROJECT MANAGEMENT LLC
87 HIBERNIA AVENUE
ROCKAWAY, N.J. 07866
PHONE: (973) 299-5200
FAX: (973) 299-5059
www.E2PM.com

THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL SALES AND REGULATIONS THEREBY. THIS DRAWING AND THE DESIGN THEREOF OR CONSTRUCTION COLLUSION ARE HEREBY TO BE PROJECT MANAGEMENT, LLC AND SHALL NOT BE REPRODUCED, ALTERED OR COPIED WITHOUT WRITTEN PERMISSION. SHALL NOT BE USED IN ANY MANNER DEVIATING FROM ITS INTENT AND SHALL BE RETURNED UPON REQUEST.

I CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION

Harrison Barany, P.E. N.J. No. 24GE05876800
LICENSED PROFESSIONAL ENGINEER

100-118 J.F.KENNEDY DRIVE NORTH
TOWNSHIP OF BLOOMFIELD
ESSEX COUNTY, NEW JERSEY

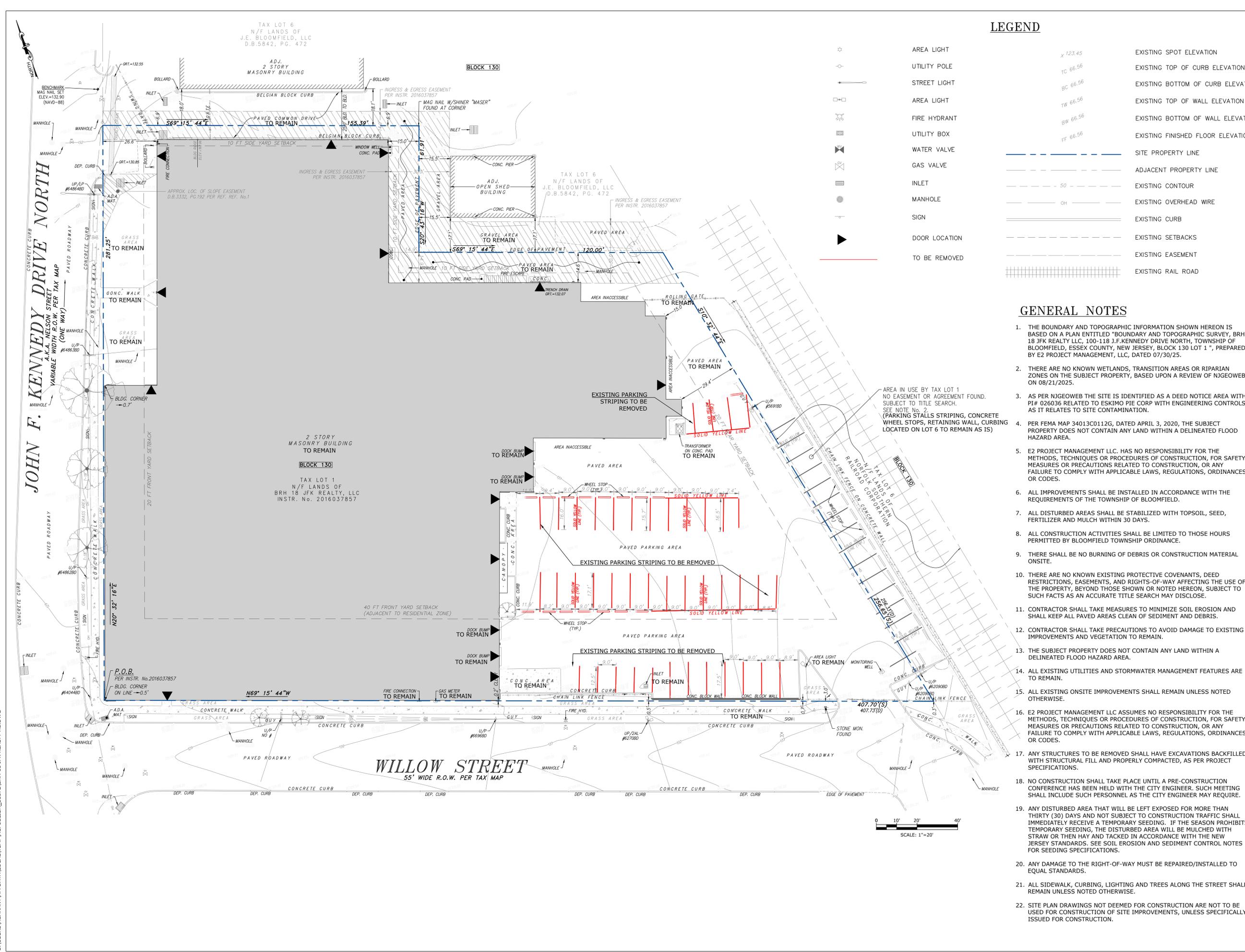
BLOCK 130, LOT 1

DRAWING TITLE
COVER SHEET

CHECKED BY: JF DRAWN BY: HB
SCALE: AS SHOWN SHEET NO: 1 OF 5
PROJECT #: P-25-58 FIRST ISSUE: 8/26/2025

DRAWING NO.

FIG-1

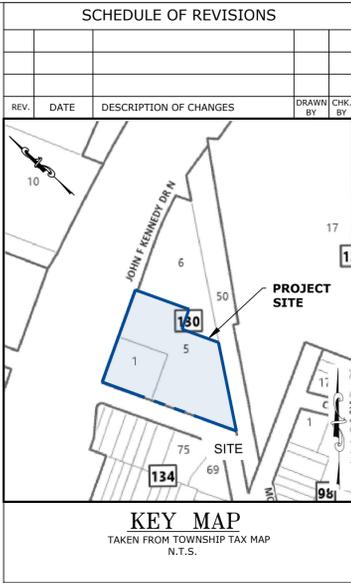


LEGEND

- AREA LIGHT
- UTILITY POLE
- STREET LIGHT
- AREA LIGHT
- FIRE HYDRANT
- UTILITY BOX
- WATER VALVE
- GAS VALVE
- INLET
- MANHOLE
- SIGN
- DOOR LOCATION
- TO BE REMOVED
- EXISTING SPOT ELEVATION
- EXISTING TOP OF CURB ELEVATION
- EXISTING BOTTOM OF CURB ELEVATION
- EXISTING TOP OF WALL ELEVATION
- EXISTING BOTTOM OF WALL ELEVATION
- EXISTING FINISHED FLOOR ELEVATION
- SITE PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING CONTOUR
- EXISTING OVERHEAD WIRE
- EXISTING CURB
- EXISTING SETBACKS
- EXISTING EASEMENT
- EXISTING RAIL ROAD

GENERAL NOTES

1. THE BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, BRH 18 JFK REALTY LLC, 100-118 J.F. KENNEDY DRIVE NORTH, TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY, BLOCK 130 LOT 1", PREPARED BY E2 PROJECT MANAGEMENT, LLC, DATED 07/30/25.
2. THERE ARE NO KNOWN WETLANDS, TRANSITION AREAS OR RIPARIAN ZONES ON THE SUBJECT PROPERTY, BASED UPON A REVIEW OF NJGEOWEB ON 08/21/2025.
3. AS PER NJGEOWEB THE SITE IS IDENTIFIED AS A DEED NOTICE AREA WITH PI# 026036 RELATED TO ESKIMO PIE CORP WITH ENGINEERING CONTROLS AS IT RELATES TO SITE CONTAMINATION.
4. PER FEMA MAP 34013C0112G, DATED APRIL 3, 2020, THE SUBJECT PROPERTY DOES NOT CONTAIN ANY LAND WITHIN A DELINEATED FLOOD HAZARD AREA.
5. E2 PROJECT MANAGEMENT LLC HAS NO RESPONSIBILITY FOR THE METHODS, TECHNIQUES OR PROCEDURES OF CONSTRUCTION, FOR SAFETY MEASURES OR PRECAUTIONS RELATED TO CONSTRUCTION, OR ANY FAILURE TO COMPLY WITH APPLICABLE LAWS, REGULATIONS, ORDINANCES OR CODES.
6. ALL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWNSHIP OF BLOOMFIELD.
7. ALL DISTURBED AREAS SHALL BE STABILIZED WITH TOPSOIL, SEED, FERTILIZER AND MULCH WITHIN 30 DAYS.
8. ALL CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THOSE HOURS PERMITTED BY BLOOMFIELD TOWNSHIP ORDINANCE.
9. THERE SHALL BE NO BURNING OF DEBRIS OR CONSTRUCTION MATERIAL ONSITE.
10. THERE ARE NO KNOWN EXISTING PROTECTIVE COVENANTS, DEED RESTRICTIONS, EASEMENTS, AND RIGHTS-OF-WAY AFFECTING THE USE OF THE PROPERTY, BEYOND THOSE SHOWN OR NOTED HEREON, SUBJECT TO SUCH FACTS AS AN ACCURATE TITLE SEARCH MAY DISCLOSE.
11. CONTRACTOR SHALL TAKE MEASURES TO MINIMIZE SOIL EROSION AND SHALL KEEP ALL PAVED AREAS CLEAN OF SEDIMENT AND DEBRIS.
12. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO EXISTING IMPROVEMENTS AND VEGETATION TO REMAIN.
13. THE SUBJECT PROPERTY DOES NOT CONTAIN ANY LAND WITHIN A DELINEATED FLOOD HAZARD AREA.
14. ALL EXISTING UTILITIES AND STORMWATER MANAGEMENT FEATURES ARE TO REMAIN.
15. ALL EXISTING ONSITE IMPROVEMENTS SHALL REMAIN UNLESS NOTED OTHERWISE.
16. E2 PROJECT MANAGEMENT LLC ASSUMES NO RESPONSIBILITY FOR THE METHODS, TECHNIQUES OR PROCEDURES OF CONSTRUCTION, FOR SAFETY MEASURES OR PRECAUTIONS RELATED TO CONSTRUCTION, OR ANY FAILURE TO COMPLY WITH APPLICABLE LAWS, REGULATIONS, ORDINANCES OR CODES.
17. ANY STRUCTURES TO BE REMOVED SHALL HAVE EXCAVATIONS BACKFILLED WITH STRUCTURAL FILL AND PROPERLY COMPACTED, AS PER PROJECT SPECIFICATIONS.
18. NO CONSTRUCTION SHALL TAKE PLACE UNTIL A PRE-CONSTRUCTION CONFERENCE HAS BEEN HELD WITH THE CITY ENGINEER. SUCH MEETING SHALL INCLUDE SUCH PERSONNEL AS THE CITY ENGINEER MAY REQUIRE.
19. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH STRAW OR THEN HAY AND TACKED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS. SEE SOIL EROSION AND SEDIMENT CONTROL NOTES FOR SEEDING SPECIFICATIONS.
20. ANY DAMAGE TO THE RIGHT-OF-WAY MUST BE REPAIRED/INSTALLED TO EQUAL STANDARDS.
21. ALL SIDEWALK, CURBING, LIGHTING AND TREES ALONG THE STREET SHALL REMAIN UNLESS NOTED OTHERWISE.
22. SITE PLAN DRAWINGS NOT DEEMED FOR CONSTRUCTION ARE NOT TO BE USED FOR CONSTRUCTION OF SITE IMPROVEMENTS, UNLESS SPECIFICALLY ISSUED FOR CONSTRUCTION.



OWNER/APPLICANT
BRH 18 JFK REALTY, LLC
110-118 JFK PARKWAY DRIVE NORTH
BLOOMFIELD, NJ 07003

N.J. ENGINEERING CERTIFICATE OF AUTHORIZATION No. 24GA28118200
E2 PROJECT MANAGEMENT LLC
87 HIBERNIA AVENUE
ROCKAWAY, N.J. 07866
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FAX: (973) 299-5059
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I CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION

HARRISON BARANY, P.E. N.J. NO. 24GE05876800
LICENSED PROFESSIONAL ENGINEER

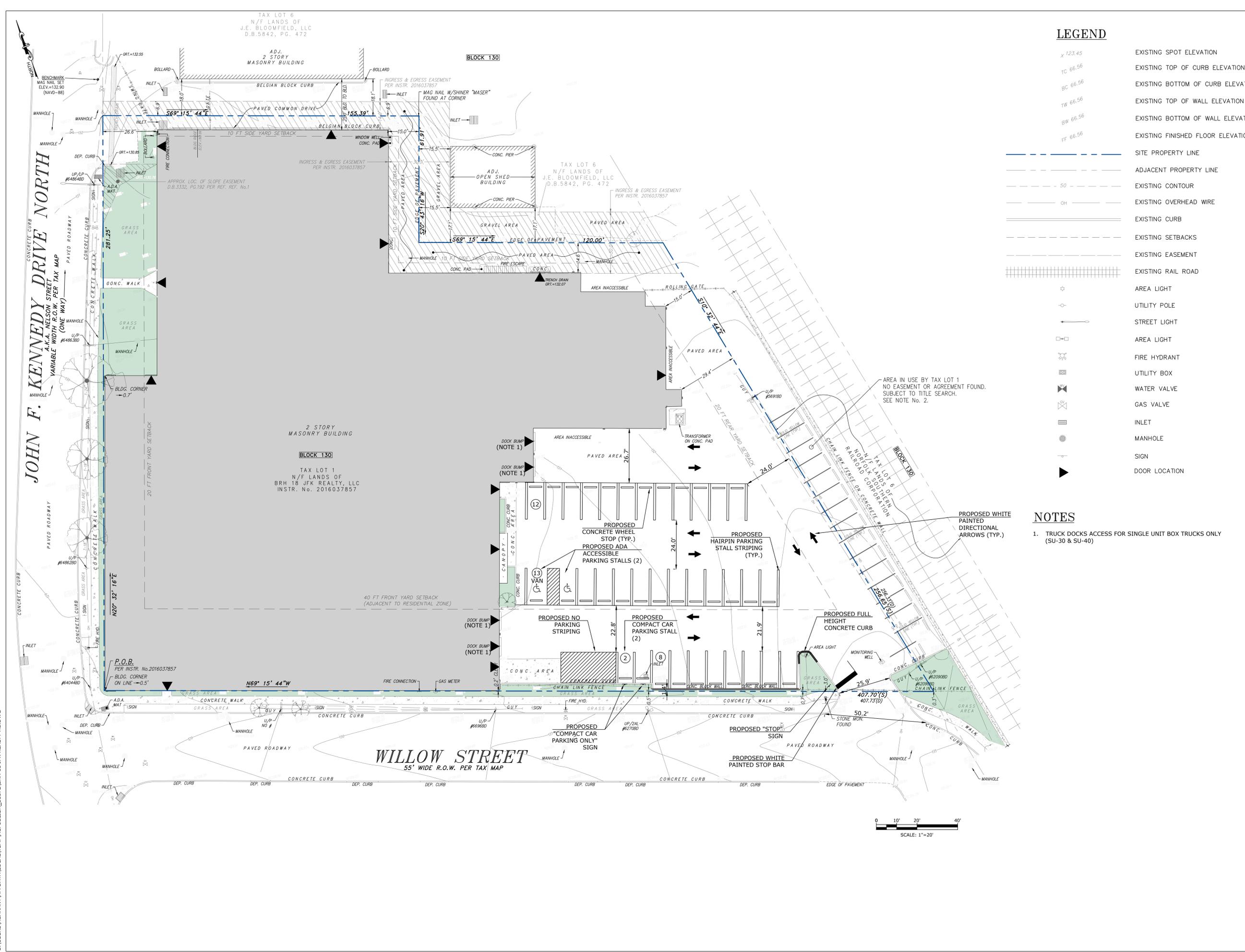
100-118 J.F. KENNEDY DRIVE NORTH
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ESSEX COUNTY, NEW JERSEY

BLOCK 130, LOT 1

DRAWING TITLE
EXISTING CONDITIONS PLAN

CHECKED BY: JF	DRAWN BY: HB
SCALE: AS SHOWN	SHEET NO: 2 OF 5
PROJECT #: P-25-58	FIRST ISSUE: 8/26/2025
DRAWING NO.	

FIG-2



LEGEND

- X 123.45 EXISTING SPOT ELEVATION
- TC 66.56 EXISTING TOP OF CURB ELEVATION
- BC 66.56 EXISTING BOTTOM OF CURB ELEVATION
- TW 66.56 EXISTING TOP OF WALL ELEVATION
- BW 66.56 EXISTING BOTTOM OF WALL ELEVATION
- FF 66.56 EXISTING FINISHED FLOOR ELEVATION
- SITE PROPERTY LINE
- ADJACENT PROPERTY LINE
- - - EXISTING CONTOUR
- EXISTING OVERHEAD WIRE
- EXISTING CURB
- EXISTING SETBACKS
- EXISTING EASEMENT
- EXISTING RAIL ROAD
- AREA LIGHT
- UTILITY POLE
- STREET LIGHT
- AREA LIGHT
- FIRE HYDRANT
- UTILITY BOX
- WATER VALVE
- GAS VALVE
- INLET
- MANHOLE
- SIGN
- ▶ DOOR LOCATION

NOTES

- TRUCK DOCKS ACCESS FOR SINGLE UNIT BOX TRUCKS ONLY (SU-30 & SU-40)

SCHEDULE OF REVISIONS

REV.	DATE	DESCRIPTION OF CHANGES	DRAWN BY	CHK. BY



OWNER/APPLICANT
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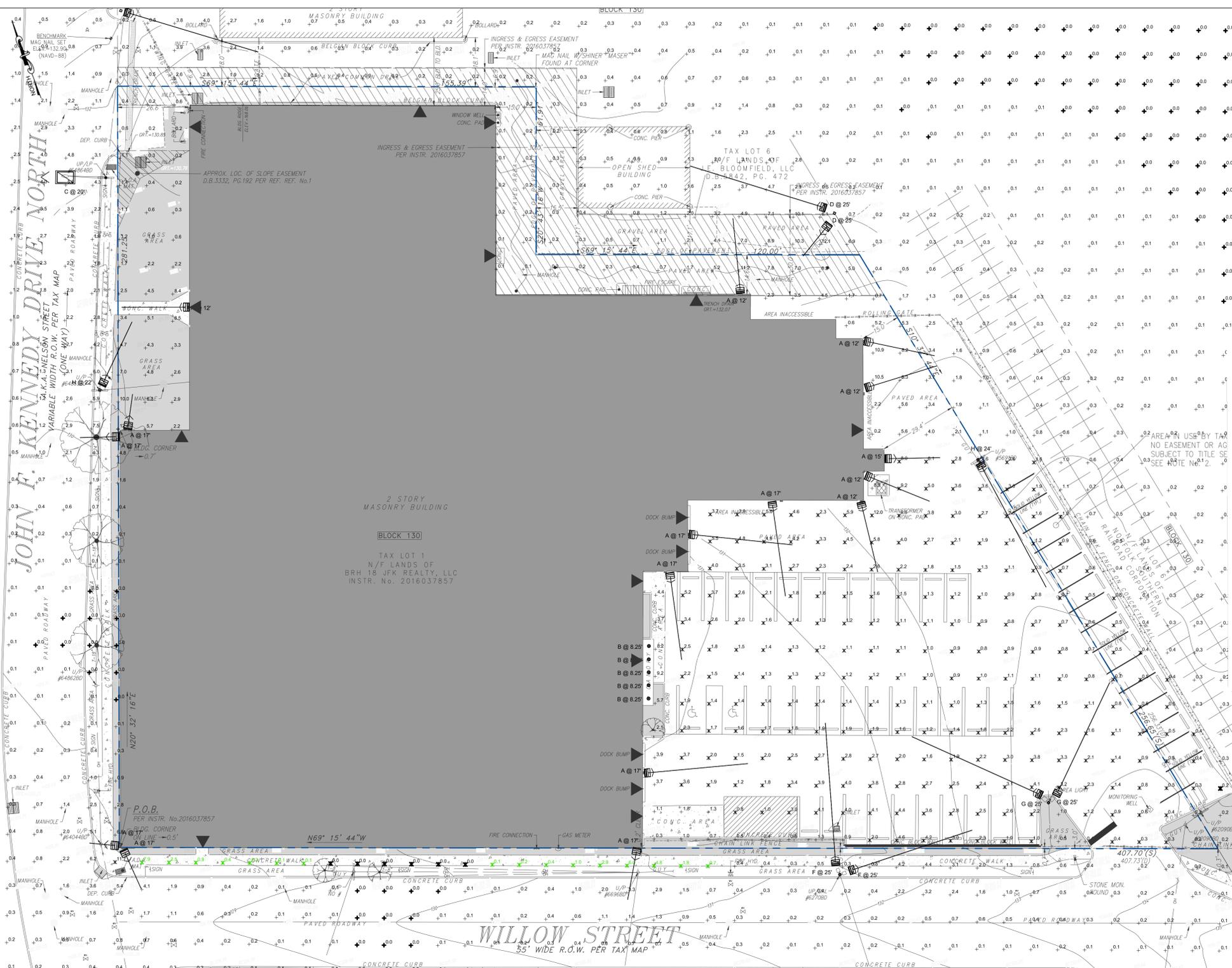
BLOCK 130, LOT 1

DRAWING TITLE
 PROPOSED SITE PLAN

CHECKED BY: JF	DRAWN BY: HB
SCALE: AS SHOWN	SHEET NO: 3 OF 5
PROJECT #: P-25-58	FIRST ISSUE: 8/26/2025

FIG-3

C:\USERS\HBARANY\APPDATA\LOCALTEMP\ACUBLISH_38872\BRH 18 JFK REALTY HB.DWG



Contractor Select™
ESXF LED
 Floodlights
 Adjustable+Switchable+Photocell

The Lithonia Lighting ESXF LED Floodlight is a general purpose flood that offers a wide selection of options and flexibility. Easy access to adjustable lumen output, color switching, and a selectable photocell allows the ESXF to be the fixture you need on the spot. With its wide flood (7x7) distribution and DLC performance, the ESXF is a cost-effective solution, great for illuminating yards, driveways, signage, patios, warehouses, and security applications.

FEATURES:

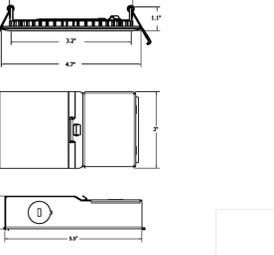
- Four sizes deliver 1,500 up to 20,000 lumens
- Three levels of adjustable lumen output. Switchable CCT(3000/4000/5000K) offers warm, cool and daylight in a single fixture
- Standard photocell can be turned on or off
- IP66 rated, die-cast aluminum housing
- Two popular mounting options included
- up to 171 LPW



EXISTING LIGHT FIXTURE TYPE A
 N.T.S.



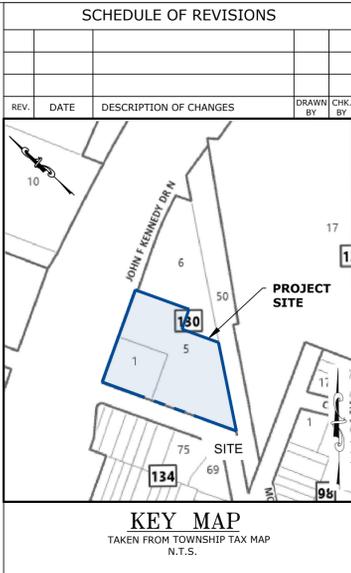
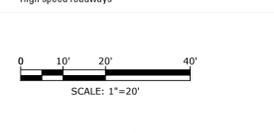
EXISTING LIGHT FIXTURE TYPE B
 N.T.S.



EXISTING LIGHT FIXTURE TYPE C
 N.T.S.



EXISTING LIGHT FIXTURE TYPE D, E & F
 N.T.S.



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 ESSEX COUNTY, NEW JERSEY

BLOCK 130, LOT 1

EXISTING LIGHTING PLAN

CHECKED BY: JF DRAWN BY: HB
 SCALE: AS SHOWN SHEET NO: 4 OF 5
 PROJECT #: P-25-20 FIRST ISSUE: 8/26/2025
 DRAWING NO.

LIGHTING LEGEND

Description	Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Filename	Lumens	LF	Wattage	Distribution
Base Grid	+	A	16	Lithonia Lighting	ESXF2 ADJ2 200K	ESXF2 LED 7500 Lumens 4000K 120-277V	ESXF2_ADJ2_200K_S15_40K_40	7500	0.9	55.86	7 x 7
Parking & Driveway	+	B	5	Lithonia Lighting	ESXF2 ADJ2 200K	ESXF2 LED 7500 Lumens 4000K 120-277V	ESXF2_ADJ2_200K_S15_40K_40	7500	0.9	55.86	7 x 7
Walkway	+	C	1	American Electric Lighting	ACQLED P20 XXXXX S5	ACQ LED Floodlight with P20 Performance Package, Flood (Std) [Symmetry Fil, 4000K CCT, 70CRI]	ACQLED_P20_XXXX_S5_40K_40	1200	0.9	51.4	5 x 5
	+	D	1	American Electric Lighting	ACQLED P20 XXXXX S5	ACQ LED Floodlight with P20 Performance Package, Flood (Std) [Symmetry Fil, 4000K CCT, 70CRI]	ACQLED_P20_XXXX_S5_40K_40	1200	0.9	51.4	5 x 5
	+	E	1	American Electric Lighting	ACQLED P20 XXXXX S5	ACQ LED Floodlight with P20 Performance Package, Flood (Std) [Symmetry Fil, 4000K CCT, 70CRI]	ACQLED_P20_XXXX_S5_40K_40	1200	0.9	51.4	5 x 5
	+	F	1	American Electric Lighting	ACQLED P20 XXXXX S5	ACQ LED Floodlight with P20 Performance Package, Flood (Std) [Symmetry Fil, 4000K CCT, 70CRI]	ACQLED_P20_XXXX_S5_40K_40	1200	0.9	51.4	5 x 5
	+	G	1	Lithonia Lighting	ESXF2 ADJ2 200K	ESXF2 LED 7500 Lumens 4000K 120-277V	ESXF2_ADJ2_200K_S15_40K_40	7500	0.9	55.86	7 x 7
	+	H	2	Lithonia Lighting	ESXF2 ADJ2 200K	ESXF2 LED 7500 Lumens 4000K 120-277V	ESXF2_ADJ2_200K_S15_40K_40	7500	0.9	55.86	7 x 7

LIGHTING LEVELS

	REQUIRED	EXISTING CONDITIONS
UNCOVERED PARKING (SUBURBAN) (IES)	1.0 FC (AVG.)	2.1 FC (AVG.)
SIDEWALKS (ROAD SIDE) (TWP. STANDARD)	1.0 FC (MIN.)	1.8 FC (MIN.)
WALKWAYS, STAIRS & BIKEWAYS (ON-SITE) (TWP. STANDARD)	0.2 FC (MIN.)	2.1 FC (MIN.) (PARKING AREA)
AT PROPERTY LINE (TWP. STANDARD)	0.1 FC	12.4 FC (MAX.) (V)

EXISTING LIGHTING STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BASE GRID	+	0.4 FC	12.4 FC	0.0 FC	N/A	N/A
PARKING & DRIVEWAY	+	2.1 FC	12.0 FC	0.2 FC	60.0:1	10.5:1
WALKWAY	+	1.8 FC	11.7 FC	0.0 FC	N/A	N/A

No.	Label	X	Y	Z	HH	Orientation	Tilt
1	F	294.54	55.31	25.00	25.00	338.62	...
2	A	28.76	62.40	17.00	17.00	155.15	40.98
3	A	26.59	64.15	17.00	17.00	274.89	30.60
4	A	219.13	64.19	17.00	17.00	190.02	46.92
5	G	371.73	82.38	25.00	25.00	313.36	...
6	A	222.58	92.40	17.00	17.00	84.38	65.00
7	B	223.07	119.90	8.25	8.25	0.00	0.00
8	B	223.07	124.80	8.25	8.25	0.00	0.00
9	B	223.07	129.61	8.25	8.25	0.00	0.00
10	B	223.07	134.38	8.25	8.25	0.00	0.00
11	B	223.07	139.28	8.25	8.25	0.00	0.00
12	A	230.76	165.69	17.00	17.00	171.85	60.95
13	A	238.52	180.61	17.00	17.00	95.45	65.00
14	A	268.51	192.17	17.00	17.00	171.51	63.00
15	A	301.57	192.21	12.00	12.00	166.03	64.00
16	A	303.81	202.59	12.00	12.00	115.57	63.10
17	H	344.71	208.93	24.00	24.00	151.37	65.00
18	A	310.71	209.09	15.00	15.00	88.52	51.82
19	A	25.76	215.28	17.00	17.00	268.29	38.78
20	A	29.14	218.27	17.00	17.00	7.59	35.75
21	A	303.54	235.44	12.00	12.00	72.55	65.00
22	H	18.09	232.55	22.00	22.00	25.00	50.00
23	A	303.08	252.36	12.00	12.00	101.43	64.00
24	A	50.87	263.33	12.00	12.00	269.52	62.62
25	A	29.07	270.68	12.00	12.00	353.83	65.00
26	D	290.86	299.65	25.00	25.00	207.42	...
27	C	20.30	310.98	20.00	20.00	270.00	...
28	E	25.53	372.69	25.00	25.00	106.32	64.00

Features:

Mechanical
 Low copper content die-cast aluminum housing and electrical cover with bolts or optional stainless steel latches disengage for easy access to LED driver, surge protection, and terminal block.
 Four mounting options including two variants of yoke and two variants on tenon slip-fitter. Tenon may be ordered with tabs setting the bottom or side of knuckle joint and is adjustable to fit 2-5/8 inch to 2-7/8 inch tenon.
 Luminaire is vibration rated to 9G per ANSI C136.31-2018 and rated IP66 per IEC60085-3.
 Rigorous five-stage pre-treating and painting process yields a finish that achieves a scribe crosshatch rating of 8 (per ASTM D1554) after over 5,000 hours exposure to salt fog chamber per ASTM B117. The yoke is provided in either painted or galvanized steel.

Electrical
 LED light engine is rated minimum 100,000 hours at 25C, L70.
 Electronic driver has an expected life of 100,000 hours at 25°C ambient. Driver meets maximum total harmonic distortion (THD) of 20%, and is ROHS compliant.
 Robust surge protection: 20kV/10kA surge protection per ANSI C136.2 is the default, with 10kV/5kA surge optional.
 Luminaire available with either a 0-10V dimmable driver or DALI D4 driver. Luminaire is continuous and step dimming capable via AO option or other installed controls.
 X-VOLT tank driver option for protection against dropped neutrals and other power quality issues.

Optical
 Three multi-die LEDs combined with highly specular reflectors provide superior field to beam ratios, uniformity, and spacing.
 NEMA optical pattern choice of medium flood (4X4), flood (6x5), wide flood (6x6), and wide flood rectangle (6x8).
 The luminaire is available with 3000K, 4000K, and 5000K CCT with minimum CRI of 70. Optical enclosure shall be glass lens.
 Optional shielding available to control light trespass and uplight.

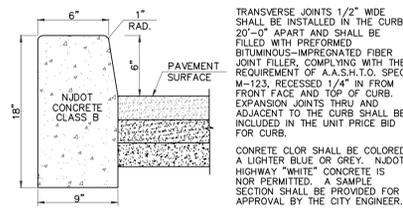
Applications:
 Auto dealerships
 Schools
 Churches
 Industrial sites
 Shopping centers
 Parking lots
 Substations
 Building facades

EXISTING LIGHT FIXTURE TYPE C
 N.T.S.

LIGHTING NOTES

- EXISTING LIGHT PLAN OUTPUT WAS GENERATED USING LIGHT FIXTURES THAT ARE SIMILAR TO WHAT IS ON-SITE WITH ASSUMED DEFLECTION ANGLES, LIGHT TEMPERATURE AND OTHER SPECIFICATIONS.
- LIGHT FIXTURE MODEL AND TYPES SHOWN ARE SIMILAR TO WHAT IS EXISTING ON-SITE BASED ON SITE INVESTIGATION PERFORMED ON AUGUST 8, 2025.
- LIGHTING MOUNTING HEIGHTS AND LOCATIONS WERE TAKEN FROM FIELD OBSERVATIONS PERFORMED BY E2PM ON AUGUST 8, 2025.

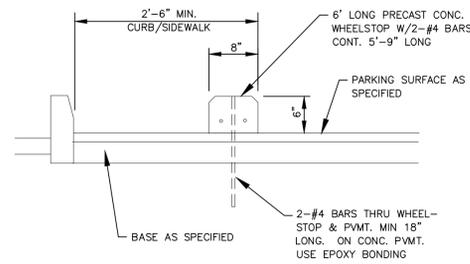
FIG-4



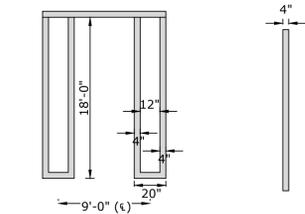
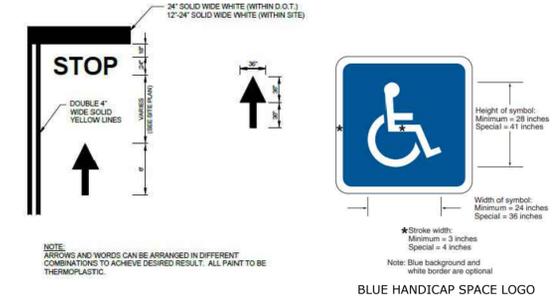
TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENT OF A.A.S.H.T.O. SPEC. M-123, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB. EXPANSION JOINTS THRU AND ADJACENT TO THE CURB SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CURB.

CONCRETE COLOR SHALL BE COLORED A LIGHTER BLUE OR GREY. NODOT HIGHWAY "WHITE" CONCRETE IS NOT PERMITTED. A SAMPLE SECTION SHALL BE PROVIDED FOR APPROVAL BY THE CITY ENGINEER.

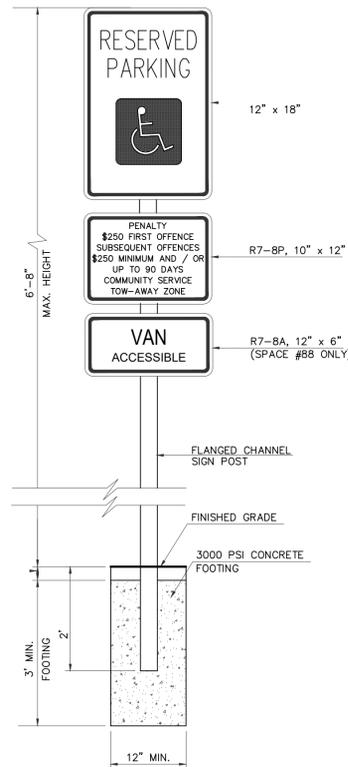
1 CONCRETE CURB
FIG-5 N.T.S.



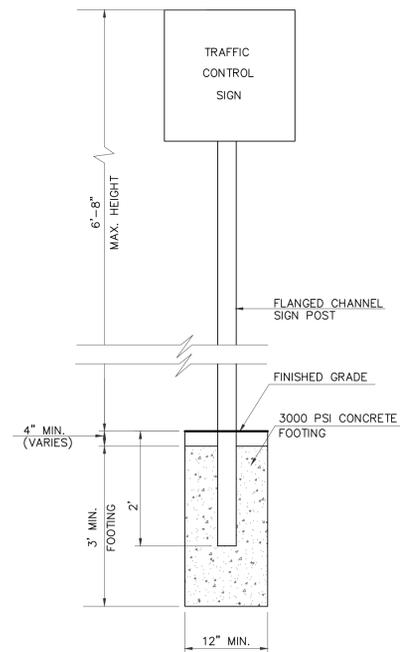
2 CONCRETE WHEEL STOP
FIG-5 N.T.S.



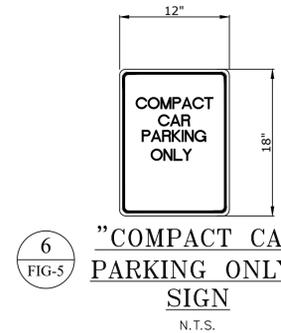
3 PAVEMENT MARKINGS
FIG-5 N.T.S.



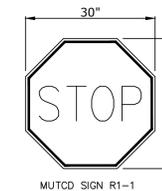
4 HANDICAPPED PARKING SIGN
FIG-5 N.T.S.



5 MOUNTING POST FOR TRAFFIC CONTROL SIGNS
FIG-5 N.T.S.



6 "COMPACT CAR PARKING ONLY" SIGN
FIG-5 N.T.S.



7 "STOP" SIGN
FIG-5 N.T.S.

SCHEDULE OF REVISIONS				
REV.	DATE	DESCRIPTION OF CHANGES	DRAWN BY	CHK. BY



KEY MAP
TAKEN FROM TOWNSHIP TAX MAP
N.T.S.

OWNER/APPLICANT
BRH 18 JFK REALTY, LLC
110-118 JFK PARKWAY DRIVE NORTH
BLOOMFIELD, NJ 07003

N.J. ENGINEERING CERTIFICATE OF AUTHORIZATION No. 24GA28118200

E 2 PROJECT MANAGEMENT LLC
87 HIBERNIA AVENUE
ROCKAWAY, N.J. 07866
PHONE: (973) 299-5200
FAX: (973) 299-9059
www.E2PM.com

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I CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION

H. Barany
HARRISON BARANY, P.E. N.J. NO. 24GE05876800
LICENSED PROFESSIONAL ENGINEER

100-118 J.F.KENNEDY DRIVE NORTH
TOWNSHIP OF BLOOMFIELD
ESSEX COUNTY, NEW JERSEY

BLOCK 130, LOT 1

DRAWING TITLE
CONSTRUCTION DETAILS

CHECKED BY: JF	DRAWN BY: HB
SCALE: AS SHOWN	SHEET NO: 4 OF 5
PROJECT #: P-25-58	FIRST ISSUE: 8/26/2025

DRAWING NO.

FIG-5