

MARUCCI ENGINEERING ASSOCIATES, LLC

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July 12, 2025

Honorable Chairman and
Members of the Zoning Board
Township of Bloomfield
One Municipal Plaza
Bloomfield, NJ 07003

Re: 60 Spring Street
Map 25 Block 665 Lot 27
58Sixty, LLC (owner/applicant)
Zone: R-2B, Two Family Residence District

Dear Chairman and Members of the Zoning Board,

This application proposes the removal of all existing buildings and structures on the subject property, create a minor subdivision into two parcels, and the development of a two-family dwelling on each of the newly created lots.

My office has reviewed the following plans and documentation for the preparation of this report:

- + Standard Development Application
- + Property Survey prepared by Manno Surveying, Inc., Vincent Manno, PLS, dated November 21, 2023
- + Proposed Minor Subdivision prepared by Manno Surveying, Inc., Vincent Manno, PLS, dated April 20, 2025
- + Architectural Plans prepared by Kouzmanoff - Bainton Architects dated November 22, 2024

EXISTING CONDITION

In the existing condition, the subject property has a width of 79.96 feet along its Spring Street frontage, with a depth of 100.01 feet, and a total lot area of 7,962 square feet.

The site contains an existing two-story, single-family dwelling with an attached one-story portion, and an attached two car garage.

A deck is attached to the rear one-story portion of the dwelling, with an accessory shed, and in-ground swimming pool within the rear yard.

The rear yard is composed mostly of impervious concrete material surrounding the in-ground pool.

PROPOSED CONDITION

The application proposes to remove all existing buildings, structures and pavements on the subject property.

A minor subdivision is proposed to create two individual building lots.

Proposed Lot 27.1 will have a width of 39.96 feet, where a minimum width of 40 feet is required.
Proposed Lot 27.1 will have an area of 3,962 square feet, where a minimum area of 4,000 sf is required.

Proposed Lot 27.2 will have a width of 40 feet and an area of 4,000 square feet, conforming to the R-2B zone requirements.

ARCHITECTURAL PLAN REVIEW

SHEET A-011 [1 of 5]

This sheet indicates the existing conditions as shown on the property survey.
The Site Removals Plan indicates all existing buildings, structures and pavements to be removed.

SHEET A-110 [2 of 5]

This sheet shows the proposed site plan, with proposed building footprints for each of the proposed lots.
This sheet also provides a zoning analysis table, with building and impervious coverage calculations.

It should be noted that garage access to both dwellings is directly from Spring Street, while pedestrian access and entry to both dwellings is from the inner side entrance.

SHEET A-111 [3 of 5]

This sheet shows the proposed floor plans.

Cellar Floor Plan:

Each proposed dwelling has an unexcavated area in the front [garage area], and a partial cellar [basement] in the rear.

No utilities or mechanical equipment is shown in the proposed basement.

Access to the cellar is by staircase from Unit A only.

First Floor Plan:

The first floor has a two-car garage, with side pedestrian entry to the living area, having a living room, kitchen and powder room for Unit A.

Second Floor Plan:

On the second floor, Unit A contains two bedrooms and one full bathroom.

On this second-floor level, Unit B contains a living room, kitchen and powder room.

Third Floor Plan:

The third floor shows two bedrooms for Unit B, with two full bathrooms, a covered balcony in the front, and a roof terrace at the rear.

It should be noted that both dwellings will contain two residential units (A & B), and the dwellings are designed to be symmetrical to each other, with side entrances opposite each dwelling.

SHEET A-210 [4 of 5]

This sheet shows the building elevations, street view, side entry, and rear elevation.

The total building height to the roof peak is shown at 39 feet.

SHEET A-221 [5 of 5]

This is the proposed building in section form.

Note the partial basement and the 39 feet building height.

COMMENTS/RECOMMENDATIONS

The application requires minor subdivision approval together with variance relief:

PROPOSED LOT 27.1

- Minimum Lot Width: 39.96 feet proposed, where a minimum 40 feet lot width is required.
- Minimum Lot Area: 3,962 sf proposed, where a minimum 4,000 sf is required.
- Building Coverage: 27.62% building coverage proposed, where 25% maximum is permitted.
- Floor Area Ratio (FAR): 0.656 FAR proposed, where 0.50 maximum FAR is permitted.

PROPOSED LOT 27.2

- Building Coverage: 27.36% building coverage proposed, where 25% maximum is permitted.
- Floor Area Ratio (FAR): 0.65 FAR proposed, where 0.50 maximum FAR is permitted.

Note: Building Height, by definition, is measured from the average finished grade surrounding the structure, to the level of the highest point of the roof surface.

Without the benefit of existing and proposed topography, and average grade calculations, the accuracy of the proposed 39 feet building height cannot be verified, and may require additional variance relief.

- Testimony shall be provided by the applicant or applicant's professionals with regards to the required variance relief.
Planning rationale shall be provided for the creation of an undersized lot [Lot 27.1], while seeking variance relief for exceeding maximum permitted building coverage, and for exceeding maximum Floor Area Ratio (FAR).
- Testimony shall also be provided with respect to the aesthetic appearance of the proposed dwellings from street view.
It appears the majority of existing dwellings along Spring Street have front entrances.
The proposed dwellings have only garage access from Spring Street, while pedestrian access to the residential units is on the side of the dwellings.
It appears the height of the proposed dwellings will be significantly higher than the adjacent existing dwellings.
- Testimony shall be provided with respect to the exterior façade materials, [vertical siding finish], and [lapped siding finish], and how these materials blend with the existing neighborhood streetscape.
- The cellar, as shown on the section sheet, Sheet A-111, is labeled as part of Unit A.
The cellar is only accessible from the first floor, through Unit A.
Proposed laundry areas are not identified on the plan.
Proposed HVAC systems, hot water tanks, electric, gas and water meters are not identified on the plans.
Should these utilities be proposed in the cellar, how will Unit B access the utility area?

Note: Without the benefit of existing and proposed topography, invert elevations and depths of the sanitary sewer manholes, and a sanitary sewer main profile, it cannot be determined if the proposed dwellings can be serviced with gravity sanitary sewer connections.

- The location of exterior air conditioning condensers is not shown on the plan.
The location of refuse/recycling areas is not shown on the plan.
- How will parking be provided to each respective tenant, one garage space and one exterior parking space, in tandem, per Unit?
Testimony shall be provided as to garage access for each tenant, and to any privacy issues related to sharing the garage area.
It appears there is no personal private storage area for each tenant's use.
- Is fencing proposed?
If so, testimony shall be provided as to the location, height and type of fence proposed.

Should the board act favorably on this application, my office offers the following conditions:

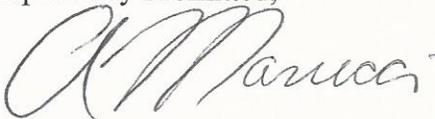
- The existing potable water and sanitary sewer connections servicing the existing dwelling shall be cut off and abandoned at the main, prior to any demolition activities.
- All buildings, structures and pavement materials to be demolished shall be removed and disposed of at legally licensed landfills and recycling facilities.
- Zoning Board approval shall be conditioned on Grading and Drainage plans designed by the applicant's professional engineer and approved by my office prior to the issuance of construction permits.
The grading and drainage plans shall provide design for stormwater management.
- A sanitary sewer profile shall be provided by the applicant's professional engineer showing that the proposed sanitary sewer laterals to the dwellings can be gravity fed.
- Deed descriptions shall be provided by the applicant's licensed land surveyor, and incorporated within the subdivision deeds, and forwarded for my office and the board attorney for review and approval prior to the Chairman and Secretary executing said minor subdivision deeds.
- New tax map lot numbers shall be approved and assigned by the Tax Assessor prior to the filing of the subdivision deeds in the Essex County Register's Office.
- All existing curb, sidewalk and driveway aprons along the property frontage shall be reconstructed in accordance with specifications and permits obtained from the Township Engineer's Office.
- Due to the extent of roadway excavation on Spring street for the abandonment of existing water, sanitary sewer and gas services, the installation of multiple potable water, sanitary sewer and gas service lines, it is required that the roadway pavement be milled [2inches +/-] from the curb to the centerline of the street and along the entire subject property frontage, and resurfaced in accordance with specifications furnished from the Township Engineer's Office.
- Potable water and sanitary sewer connections shall be installed in accordance with specifications provided by the Township Engineer's Office. Permits shall be obtained prior to any right of way openings.
- A minimum of three (3) shade trees shall be planted between the curb and sidewalk, along the property frontage, with the location, caliper and type to be determined by my office and/or the Township Forester.
Foundation plantings shall be installed in front of both dwellings.
All other non-pavement areas shall be seeded or sodded.

- A permit shall be obtained from the Hudson-Essex-Passaic Soil Conservation District, and all soil erosion control measures shall be installed and established prior to any demolition or other soil disturbance.
- Approval shall be subject to performance & maintenance guarantees, and engineering inspection fees pursuant to Article VII of the zoning ordinance to assure compliance with the required improvements.

My office has no further comments at this time.

However, my office reserves the opportunity for further comments/recommendations pending testimony received during the hearing process.

Respectfully submitted,

A handwritten signature in cursive script, appearing to read "A Marucci".

Anthony Marucci, PE-LS-PP
Zoning Board Engineer