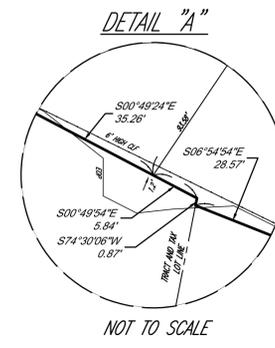
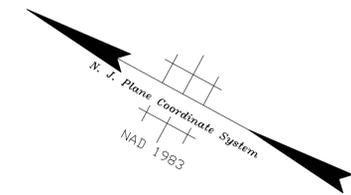


VICINITY MAP
© 2008 DeLorme, Street Atlas USA
(NOT TO SCALE)



DETAIL "A"
NOT TO SCALE

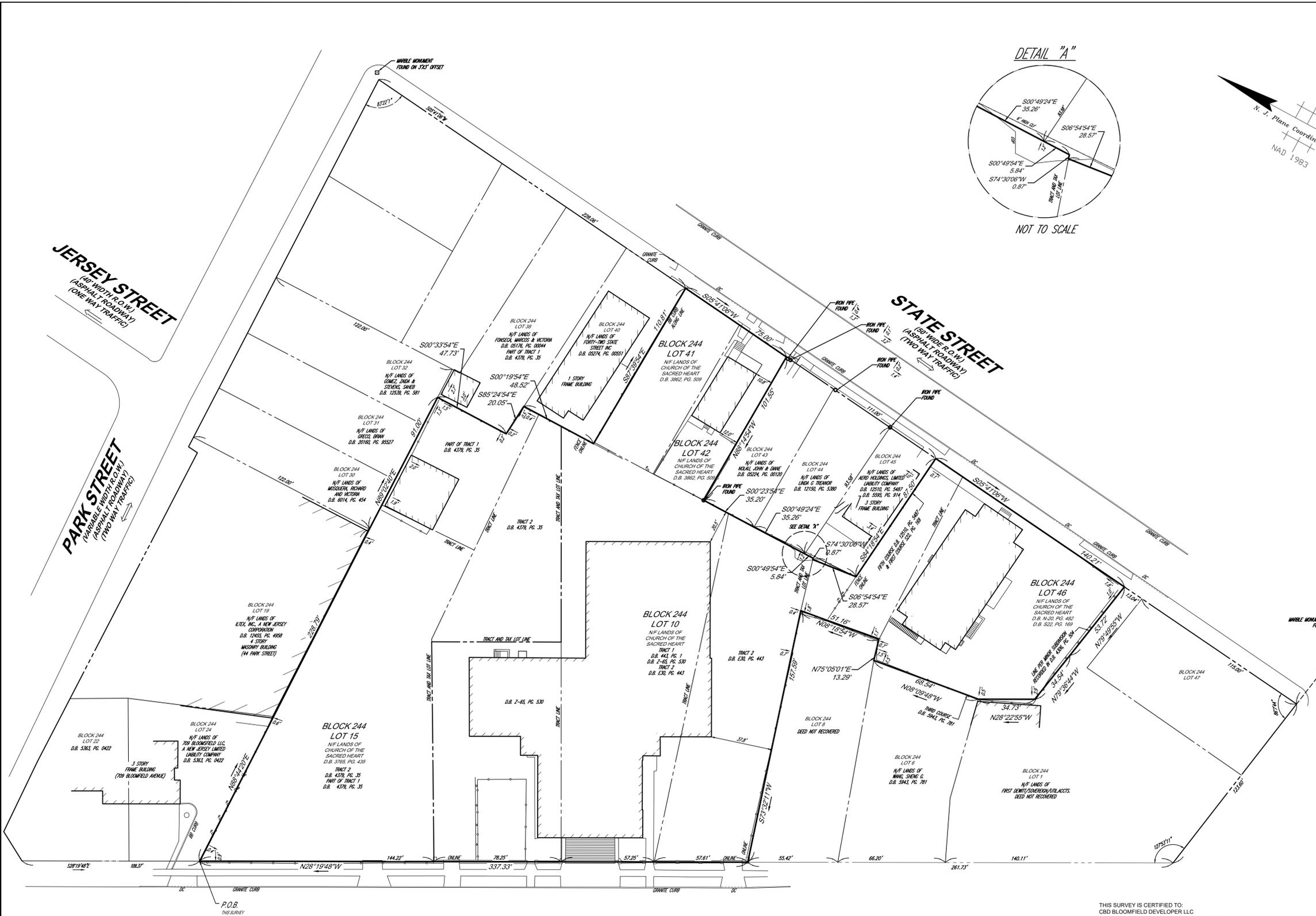


JERSEY STREET
(60' WIDE R.O.W.)
(ASPHALT ROADWAY)
(ONE WAY TRAFFIC)

PARK STREET
(PARALLEL WITH R.O.W.)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

STATE STREET
(80' WIDE R.O.W.)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)

BLOOMFIELD AVENUE
(80' WIDE R.O.W.)
(ASPHALT ROADWAY)
(TWO WAY TRAFFIC)



NOTES:

- PROPERTY KNOWN AS LOTS 10, 15, 41, 42, 46 BLOCK 244, AS SHOWN ON THE OFFICIAL TAX MAP OF THE TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY.
 - AREA = 96,922 SQUARE FEET OR 2.225 ACRES.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
- QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY, NOT FIELD VERIFIED.
 - QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING, INCLUDES MARKOUT BY OTHERS.
 - QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING, INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
 - QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY CLIENT, A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC., AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY TRIDENT ABSTRACT TITLE AGENCY, LLC, COMMITMENT NO. TA-149205, WITH AN EFFECTIVE DATE OF 10/01/2019, AND A LAST UPDATED DATE OF 01/01/2021. NO SCHEDULE B, SECTION II EXCEPTIONS WERE INCLUDED IN THIS REPORT.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD ZONE X (OTHER AREAS), (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS). TEMPORARY BENCH MARKS SET:
TBM-A: SPIKE SET IN THE CONCRETE WALK ALONG EASTERLY SIDE OF BLOOMFIELD AVENUE. APPROX. 170' NORTH ALONG BLOOMFIELD AVENUE OF THE MAIN CHURCH STAIRWAY. ELEVATION= 135.36'
TBM-B: PK NAIL SET IN THE BIT CONCRETE PARKING LOT OF 14 STATE STREET. APPROX. 10' FROM THE EASTERLY WALL OF 607 BLOOMFIELD AVE "SANTANDER BANK" AND 30' FROM THE CLOSEST BUILDING CORNER OF 14 STATE STREET. ELEVATION= 131.62'
 - PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C. 14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:40-5.1 (d).

REFERENCES:

- THE OFFICIAL TAX ASSESSOR'S MAP OF THE TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY, SHEET #11.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, ESSEX COUNTY, NEW JERSEY (ALL JURISDICTIONS), FIELD 112 OF 200", MAP NUMBER 540193001120, EFFECTIVE DATE: JUNE 4, 2007, REVISION DATE: APRIL 3, 2020.
- MAP ENTITLED "TOWNSHIP OF BLOOMFIELD WATER DISTRIBUTION SYSTEM" - AREA B11, PAGE 13 OF 44. PRODUCED BY HATCH MOTT MACDONALD
- MAP ENTITLED "STATE, PARK & BLOOMFIELD SANITARY SEWER MAP" PROVIDED BY THE TOWNSHIP OF BLOOMFIELD

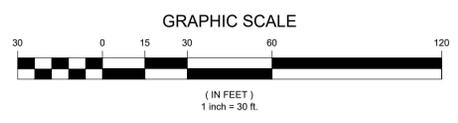
THIS SURVEY IS CERTIFIED TO:
CBD BLOOMFIELD DEVELOPER LLC
THE CHURCH OF THE SACRED HEART, BLOOMFIELD
ARCHDIOCESE OF NEWARK
TRIDENT ABSTRACT TITLE AGENCY, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY
ORLOFF, LOVENBACH, STIFELMAN & SIEGEL, PA
GENOVA BURNS LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 8, 9, 13, & 14 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 05-13-2021.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION SEAL

JAMES D. SENS
NEW JERSEY PROFESSIONAL LAND SURVEYOR #24G504322600
NEW JERSEY CERTIFICATE OF AUTHORIZATION #24G27938600

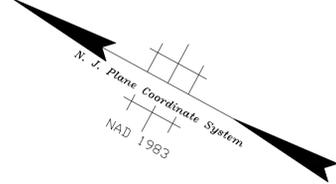
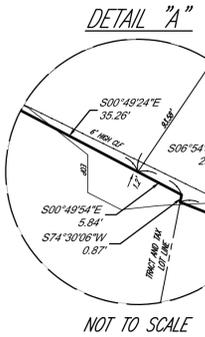
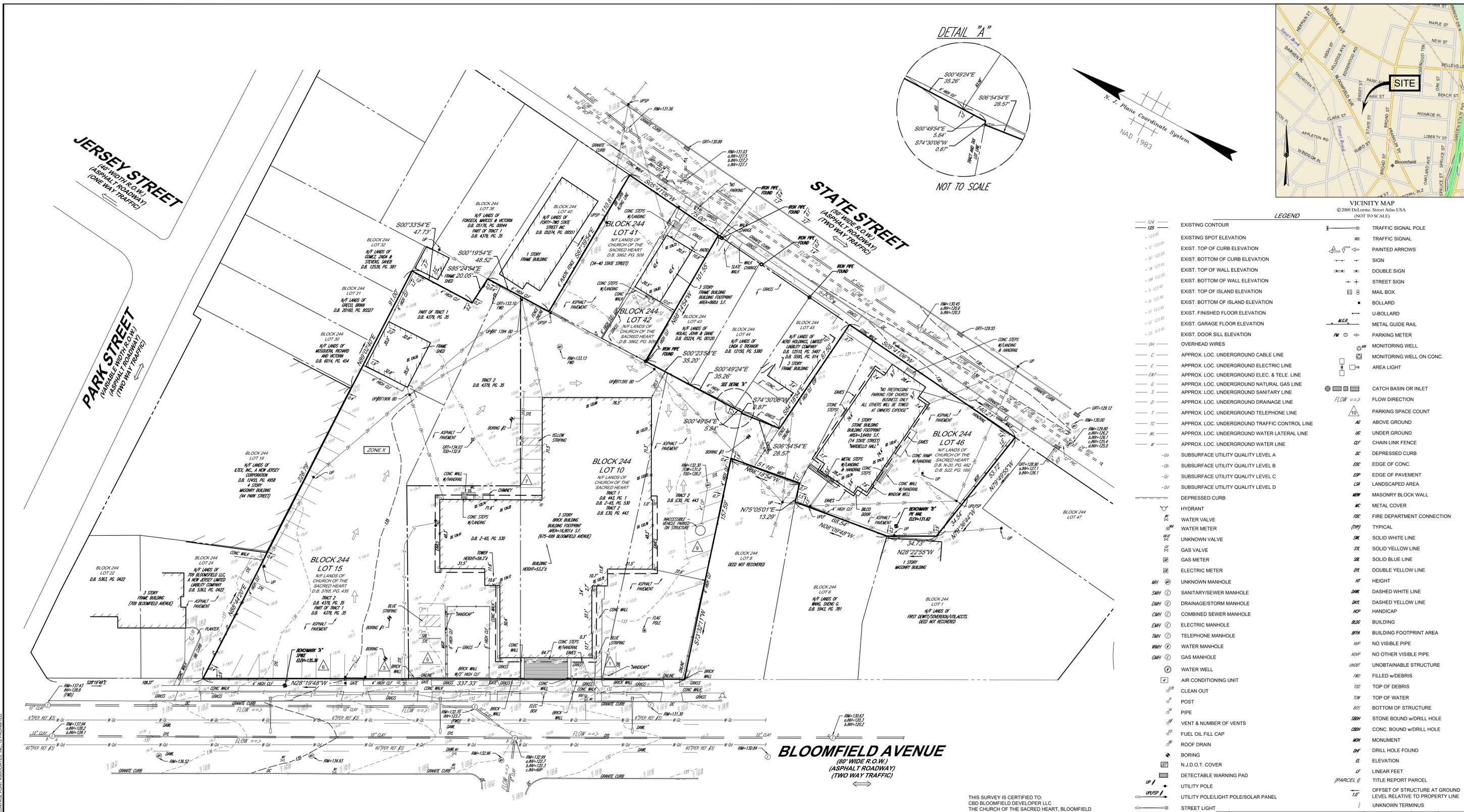
06-22-2021
DATE



No.	REVISION	DESCRIPTION OF REVISION	FIELD	DRAWN	APPROVED	DATE
3	REVISED DIMENSION	NA	A.J.F.	J.D.S.		06-22-21
2	UPDATED BOUNDARY PER LOT 45 DEED	NA	A.J.F.	J.D.S.		05-27-21
1	UPDATED UTILITY INFORMATION PER PROVIDED DOCUMENTATION	NA	A.J.F.	J.D.S.		05-24-21

FIELD DATE	05-13-2021	ALTA/NSPS LAND TITLE SURVEY							
FIELD BOOK NO.	21-05	BLOCK 244, LOTS 10, 15, 41, 42 & 46							
FIELD BOOK PG.	76-79	675-699 BLOOMFIELD AVENUE & 14 & 34-40 STATE STREET							
FIELD CREW		TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY							
D.O.C.		STATE OF NEW JERSEY							
DRAWN:	A.J.F.	CONTROL POINT ASSOCIATES, INC. 30 INDEPENDENCE BOULEVARD, SUITE 100 WARREN, NJ 07059 908.668.0999 - 908.668.9555 FAX WWW.CPASURVEY.COM							
APPROVED:	J.D.S.								
REVIEWED:	K.V.G.	DATE	05-13-2021	SCALE	1"=30'	FILE NO.	01-210147-00	SHEET NO.	1 OF 2

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. ORIGINAL PRODUCT OR SERVICE PROVIDED BY CONTROL POINT ASSOCIATES, INC. IS PROTECTED BY PATENT AND TRADEMARK. THE PURPOSE OF THIS DOCUMENT IS TO PROVIDE INFORMATION TO THE CLIENT. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE.



LEGEND

124	EXISTING CONTOUR	TRAFFIC SIGNAL POLE
125	EXISTING SPOT ELEVATION	TRAFFIC SIGNAL
126	EXIST. TOP OF CURB ELEVATION	PAINTED ARROWS
127	EXIST. BOTTOM OF CURB ELEVATION	SIGN
128	EXIST. TOP OF WALL ELEVATION	DOUBLE SIGN
129	EXIST. BOTTOM OF WALL ELEVATION	STREET SIGN
130	EXIST. TOP OF ISLAND ELEVATION	MAIL BOX
131	EXIST. BOTTOM OF ISLAND ELEVATION	BOLLARD
132	EXIST. FINISHED FLOOR ELEVATION	U-BOLLARD
133	EXIST. GARAGE FLOOR ELEVATION	METAL GUIDE RAIL
134	EXIST. DOOR SILL ELEVATION	PARKING METER
135	OVERHEAD WIRES	MONITORING WELL
136	APPROX. LOC. UNDERGROUND CABLE LINE	MONITORING WELL ON CONC.
137	APPROX. LOC. UNDERGROUND ELEC. & TELE. LINE	AREA LIGHT
138	APPROX. LOC. UNDERGROUND NATURAL GAS LINE	CATCH BASIN OR INLET
139	APPROX. LOC. UNDERGROUND SANITARY LINE	FLOW DIRECTION
140	APPROX. LOC. UNDERGROUND DRAINAGE LINE	PARKING SPACE COUNT
141	APPROX. LOC. UNDERGROUND TELEPHONE LINE	AC ABOVE GROUND
142	APPROX. LOC. UNDERGROUND TRAFFIC CONTROL LINE	UC UNDER GROUND
143	APPROX. LOC. UNDERGROUND WATER LATERAL LINE	CLF CHAIN LINK FENCE
144	APPROX. LOC. UNDERGROUND WATER LINE	DC DEPRESSED CURB
145	SUBSURFACE UTILITY QUALITY LEVEL A	EDC EDGE OF CONC.
146	SUBSURFACE UTILITY QUALITY LEVEL B	EPD EDGE OF PAVEMENT
147	SUBSURFACE UTILITY QUALITY LEVEL C	LSA LANDSCAPED AREA
148	SUBSURFACE UTILITY QUALITY LEVEL D	MSW MASONRY BLOCK WALL
149	DEPRESSED CURB	MC METAL COVER
150	HYDRANT	FDK FIRE DEPARTMENT CONNECTION
151	WATER VALVE	(TYP) TYPICAL
152	WATER METER	SWK SOLID WHITE LINE
153	UNKNOWN VALVE	SYL SOLID YELLOW LINE
154	GAS VALVE	SBL SOLID BLUE LINE
155	GAS METER	DYL DOUBLE YELLOW LINE
156	ELECTRIC METER	HT HEIGHT
157	UNKNOWN MANHOLE	DWK DASHED WHITE LINE
158	SANITARY/SEWER MANHOLE	DYL DASHED YELLOW LINE
159	DRAINAGE/STORM MANHOLE	NDP HANDICAP
160	COMBINED SEWER MANHOLE	BLDG BUILDING
161	ELECTRIC MANHOLE	BFPA BUILDING FOOTPRINT AREA
162	TELEPHONE MANHOLE	NVP NO VISIBLE PIPE
163	WATER MANHOLE	NOP NO OTHER VISIBLE PIPE
164	GAS MANHOLE	UNOBT UNOBTAINABLE STRUCTURE
165	WATER WELL	FND FILLED W/DEBRIS
166	AIR CONDITIONING UNIT	TOP TOP OF DEBRIS
167	CLEAN OUT	TOP TOP OF WATER
168	POST	BOS BOTTOM OF STRUCTURE
169	PIPE	SDRH STONE BOUND W/DRILL HOLE
170	VENT & NUMBER OF VENTS	CONC CONC. BOUND W/DRILL HOLE
171	FUEL OIL FILL CAP	MON MONUMENT
172	ROOF DRAIN	DRF DRILL HOLE FOUND
173	BORING	ELEV ELEVATION
174	N.J.D.O.T. COVER	LF LINEAR FEET
175	DETECTABLE WARNING PAD	(PARCEL) TITLE REPORT PARCEL
176	UTILITY POLE	OFFSET OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
177	UTILITY POLE/LIGHT POLE/SOLAR PANEL	UNKNOWN UNKNOWN TERMINUS
178	STREET LIGHT	

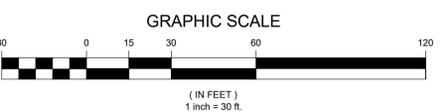
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UTILITIES:
 THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW JERSEY ONE-CALL SYSTEM (1.800.272.1000) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 21092021

UTILITY COMPANY
 VERIZON
 COMCAST CABLEVISION OF NEWARK
 CITY OF NEWARK
 BLOOMFIELD PUBLIC WORKS
 EXTENET SYSTEMS INC
 PUBLIC SERVICE ELECTRIC AND GAS



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



THIS SURVEY IS CERTIFIED TO:
 CBD BLOOMFIELD DEVELOPER LLC
 THE CHURCH OF THE SACRED HEART, BLOOMFIELD
 ARCHDIOCESE OF NEWARK
 TRIDENT ABSTRACT TITLE AGENCY, LLC
 FIRST AMERICAN TITLE INSURANCE COMPANY
 ORLOFF, LOVENBACH, STIFELMAN & SIEGEL, PA
 GENOVA BURNS LLC

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JAMES D. SENS
 NEW JERSEY PROFESSIONAL LAND SURVEYOR #246504322600
 NEW JERSEY CERTIFICATE OF AUTHORIZATION #246504322600

3	REVISE DIMENSION	NA	A.J.F.	J.D.S.	06-22-21	
2	UPDATED BOUNDARY PER LOT 45 DEED	NA	A.J.F.	J.D.S.	05-27-21	
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FIELD CREW	D.O.C.	TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY				
DRAWN	A.J.F.	STATE OF NEW JERSEY				
REVIEWED	K.V.G.					
APPROVED	J.D.S.	DATE	05-13-2021	SCALE	1"=30'	
FILE NO.	01-210147-00	SHEET NO.	2 OF 2			