

ZONING NOTES

	Existing	Proposed	Allowed/Required
Zone:	R1A		
Block / Lot:	1057 / 9		
Lot Area:	4,000sf	No Change	5,000sf min
Lot Width:	40 ft	No Change	50 ft min
Front Yard:	21.33 ft	No Change	17.43 ft* min
Side Yard:	6.33/14.11 ft	No Change	6/14 ft min
Bldg Cover:	894sf (22.3%)	No Change	20% max
Lot Cover:	2,251sf (56.3%)	2,149sf (53.7%)	45% max
FAR:	1,955 sf (0.48)	2,507sf (0.63)	0.5 max
*Established Setback: Average of 4 closest lots per 315-365 B(4)			

Floor Area Ratio Calcs

Floor	Existing	Proposed	Total
Bsmt	412 sf		
1st	894 sf		
2nd	649 sf	253 sf	
Attic	299 sf		
	1,955 sf	552 sf	2,507 sf

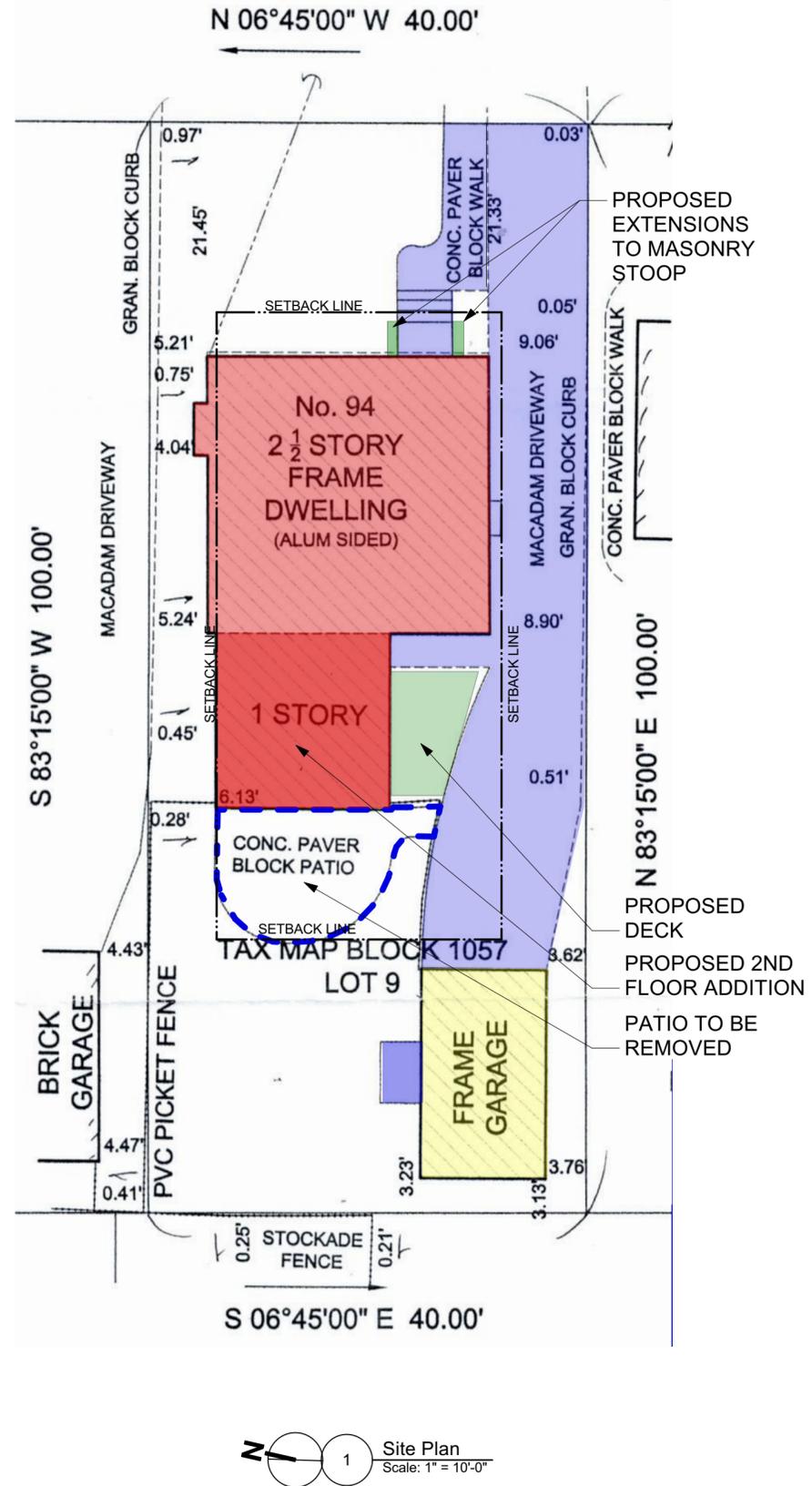
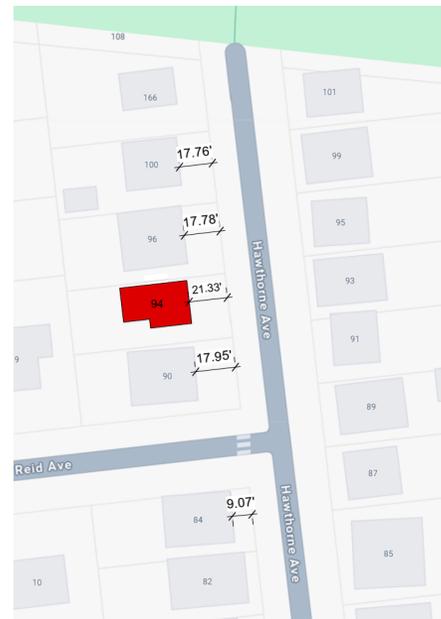
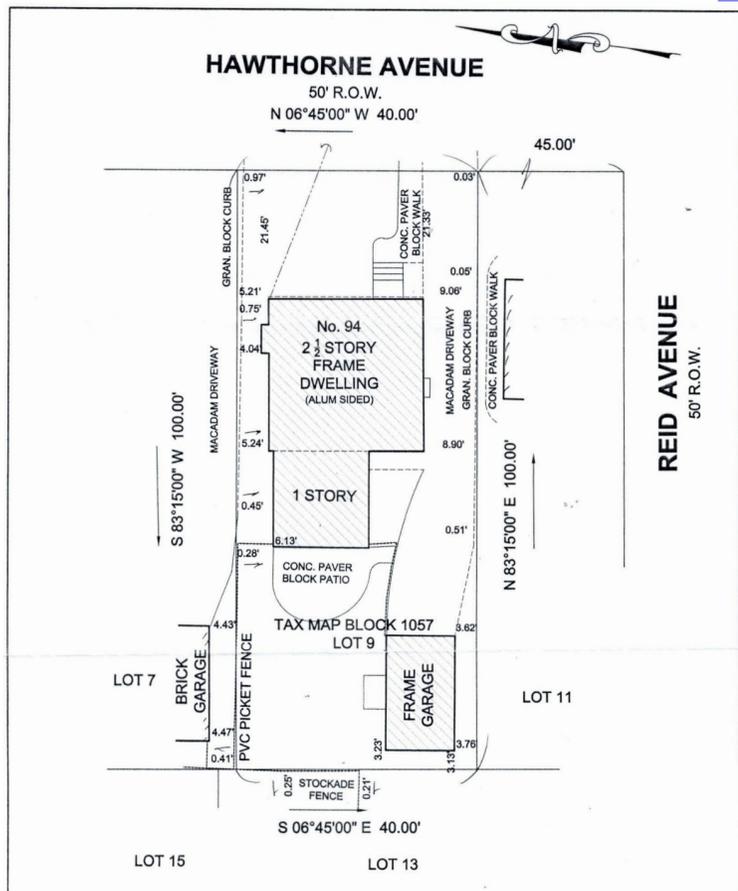
BUILDING CODE NOTES

Smoke Detectors: Smoke alarms shall be installed and maintained on each level of the structure, outside each separate sleeping area in the immediate vicinity of the bedrooms, and located on or near the ceiling. Battery-operated units shall be permitted, but shall not replace any AC-powered smoke alarms or a household fire alarm system.

Carbon Monoxide Alarms: Battery powered CO alarms shall be installed in the immediate vicinity of all sleeping rooms per NJAC Bulletin 99-3.

Applicable Codes:
 Building Subcode: 2021 International Residential Building Code
 Plumbing Subcode: 2021 National Standard Plumbing Code
 Electrical Subcode: 2020 National Electrical Code
 Energy Subcode: 2021 International Energy Conservation Code

Volume of New Addition per 5:23-2.28: 2,530 cuft



No liability is assumed by the certifying surveyor for the use of this survey by any other party not shown on the certification hereon or for use of this survey with a survey affidavit. Certifications are not transferable to additional institutions or subsequent owners. This survey plat used without the impression of a raised seal of the surveyor shall invalidate this survey plat. The use of this survey along with a survey affidavit is prohibited.

The property has not been staked in accordance with instructions. A written waiver and direction not to set corner markers has been obtained from the ultimate owner pursuant to P.L. 2003, c.14 (N.J.S.A. 45:9-35.3) and 13:40-5.1(d).

TAX BLOCK: 1057	LOT: 9	ADDRESS: 94 HAWTHORNE AVENUE
CERTIFIED TO: Ashley Lewis Jayco and Richard Jayco,		
MAP OF PROPERTY SITUATED IN THE TOWNSHIP OF BLOOMFIELD ESSEX COUNTY, NJ		
JMH ASSOCIATES 973-403-0830 P.O. BOX 30 CALDWELL, N.J. 07006		JOB No. 25-022 REV. DATE DATE March 29, 2025 SCALE
JAMES M. HELB, PE, PLS, PP PROFESSIONAL ENGINEER & LAND SURVEYOR PROFESSIONAL PLANNER		NJ LICENSE No 24272 NJ LICENSE No 3832
TITLE No:		DATE: 3-29-2025

3 Existing Survey
Scale: 1" = 20'-0"

2 Average Front Yard Setback
Scale: Not To Scale

1 Site Plan
Scale: 1" = 10'-0"

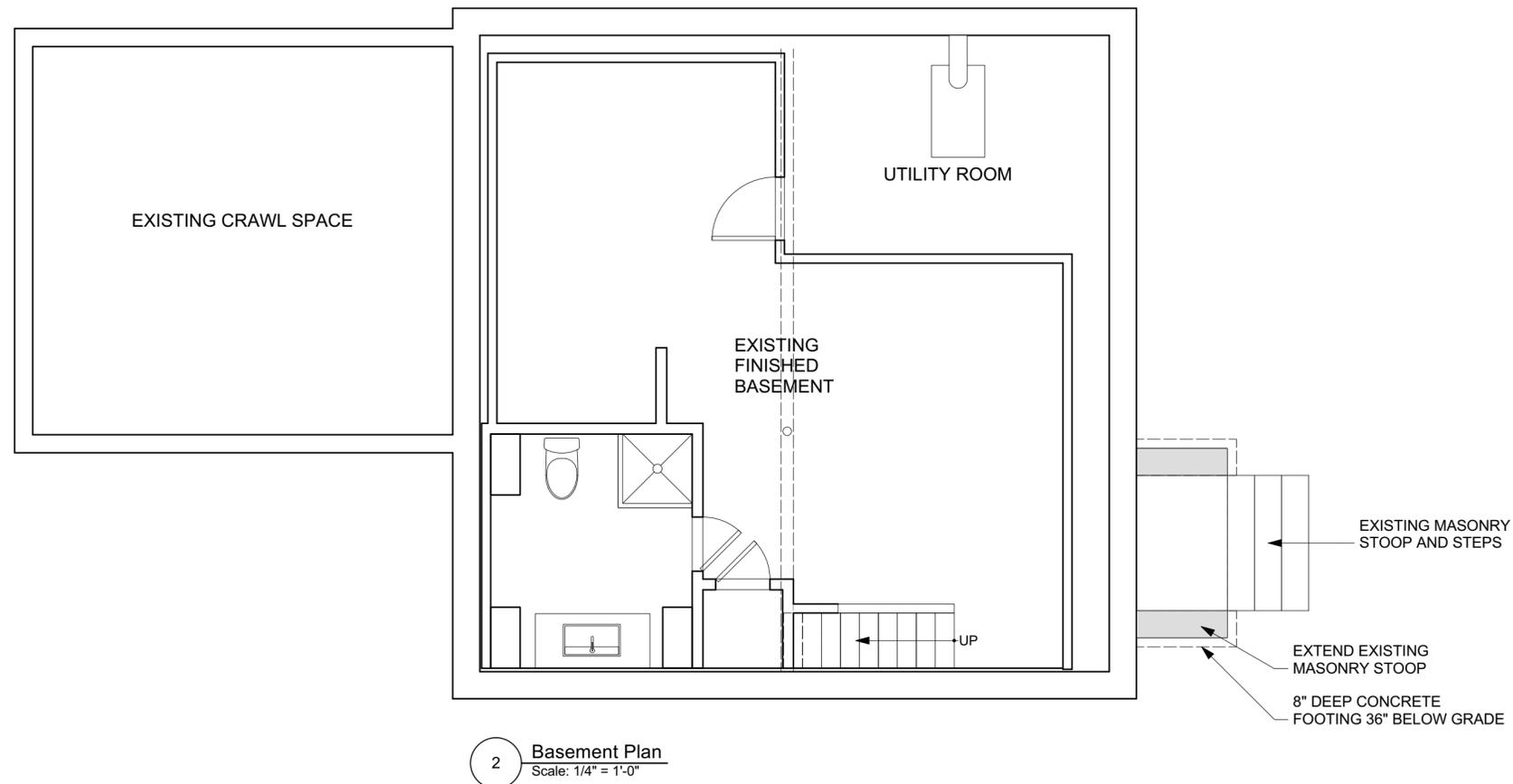
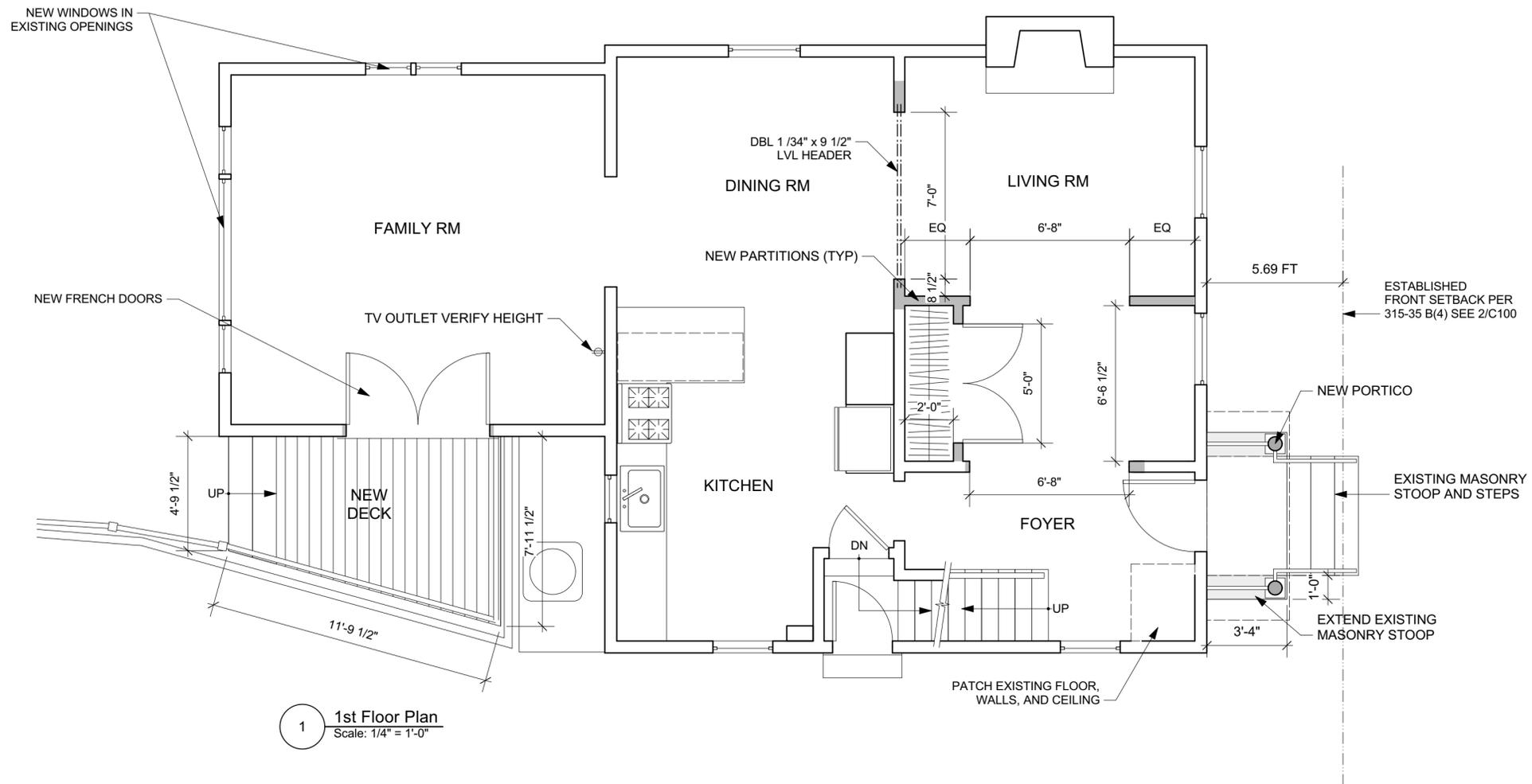
DATE	ISSUE
04-21-2025	Zoning Submittal
04-02-2025	Revised Budget Set
11-16-2024	Budget Set
11-14-2024	Design Review Set

peterwillcox ARCHITECT, LLC
 206 FERNWOOD AVE, MONTCLAIR, NJ 07043
 973-714-2712 peterwillcoxarchitect@gmail.com

Jayco Residence
 94 Hawthorne Ave
 Bloomfield, NJ

Site Plans and Notes
 Scale as Noted

C101



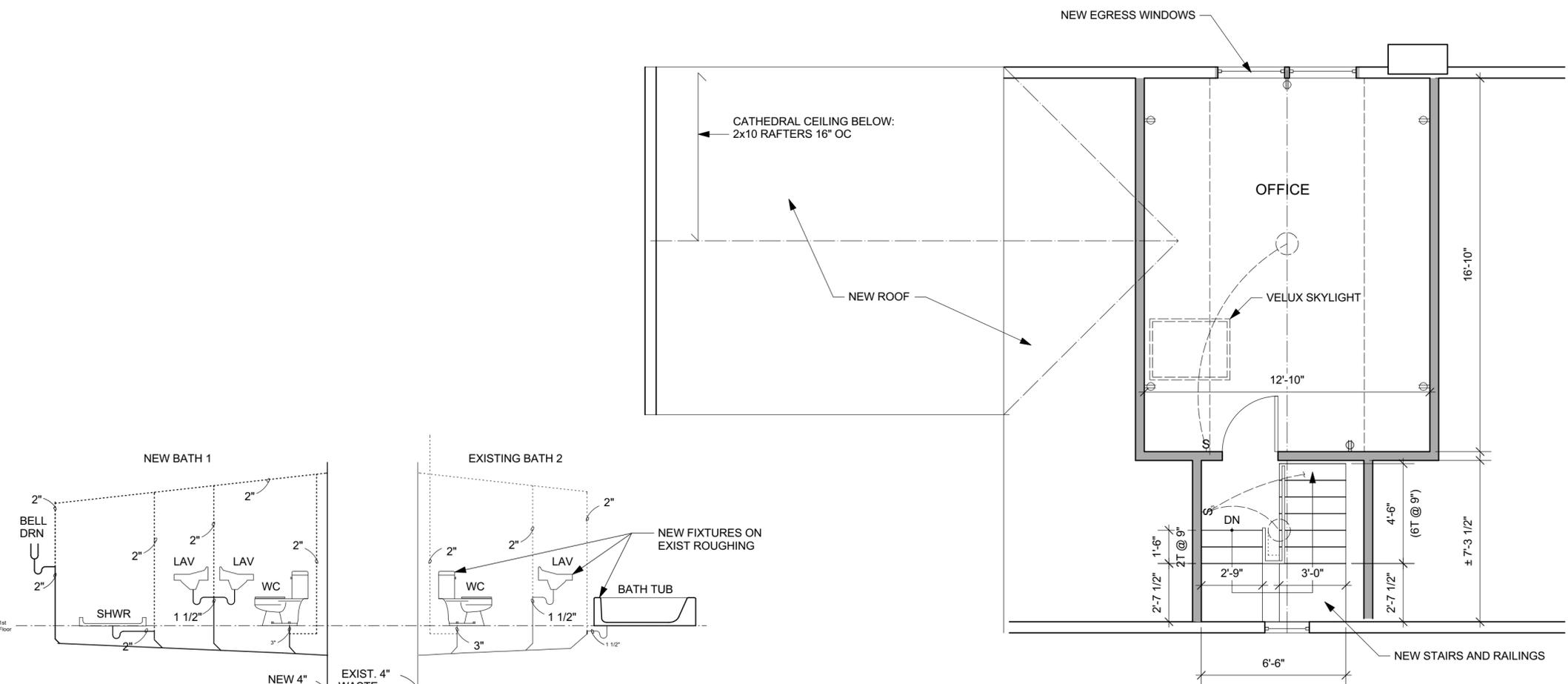
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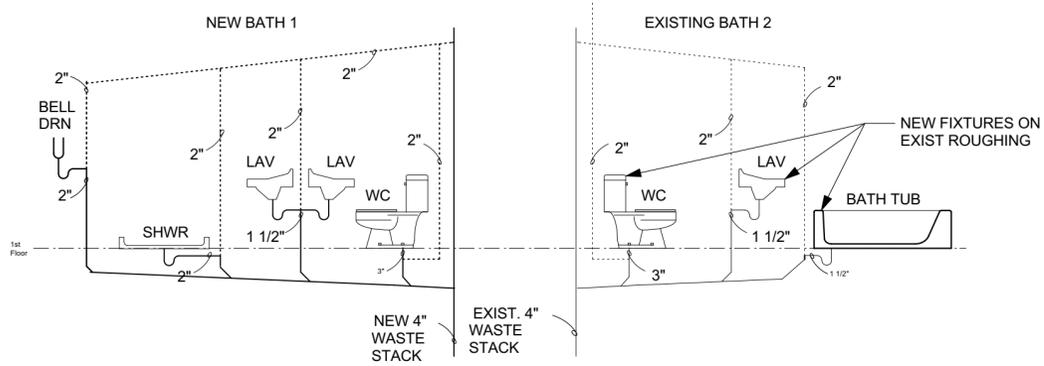
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Bsmt and 1st Floor Plans
 1/4" = 1'-0"

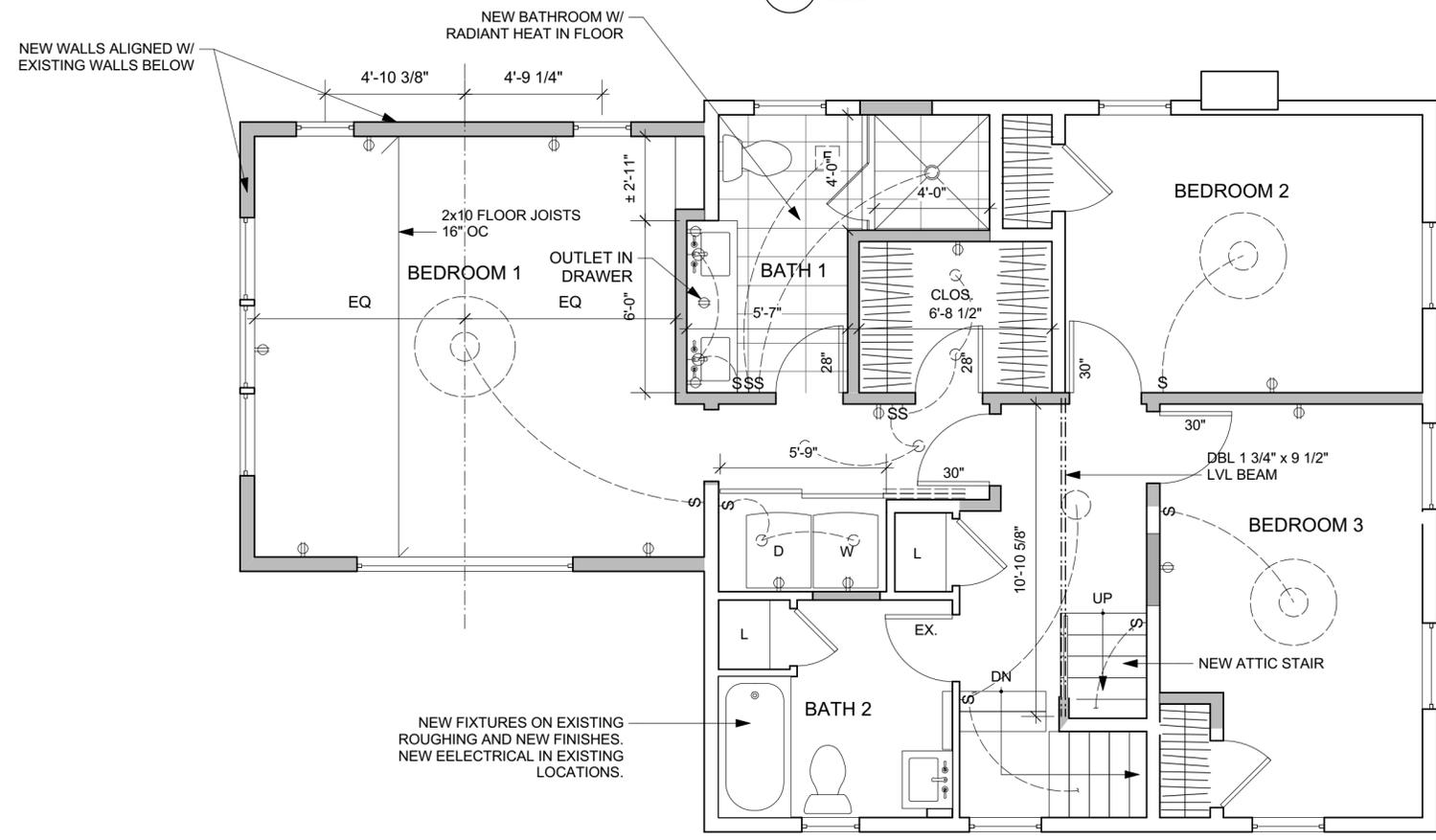
A101



1 Attic Plan
Scale: 1/4" = 1'-0"



3 Plumbing Riser Diagram
Scale: Not To Scale



2 2nd Floor Plan
Scale: 1/4" = 1'-0"

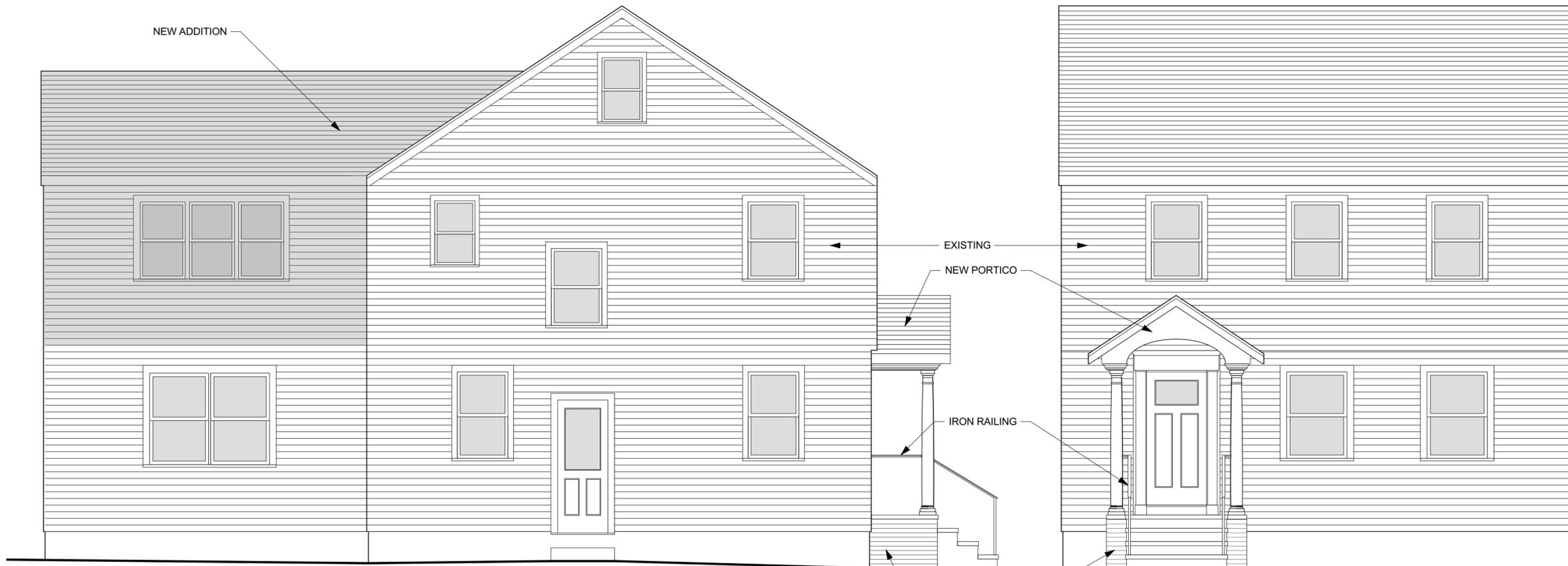
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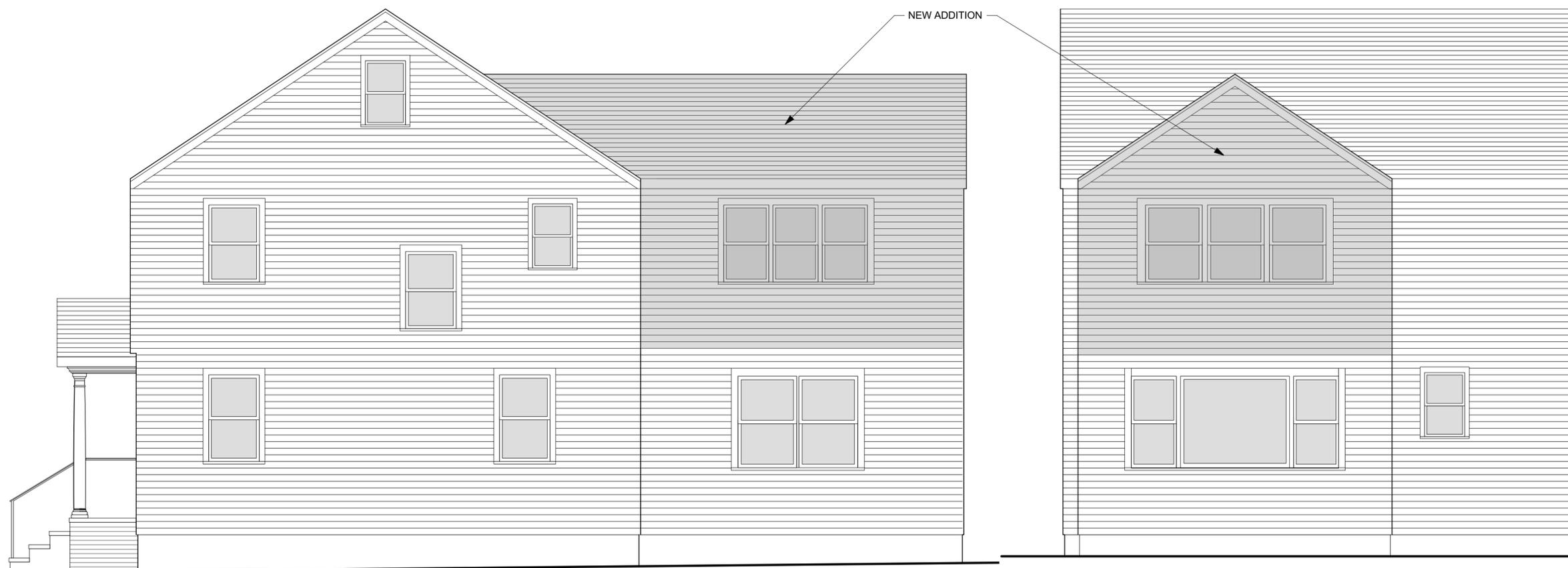
2nd Floor and Attic Plans
 1/4" = 1'-0"

A102



2 South (Side) Elevation
Scale: 1/4" = 1'-0"

1 East (Front) Elevation
Scale: 1/4" = 1'-0"



4 North (Side) Elevation
Scale: 1/4" = 1'-0"

3 West (Rear) Elevation
Scale: 1/4" = 1'-0"

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Exterior Elevations
 1/4" = 1'-0"

A201