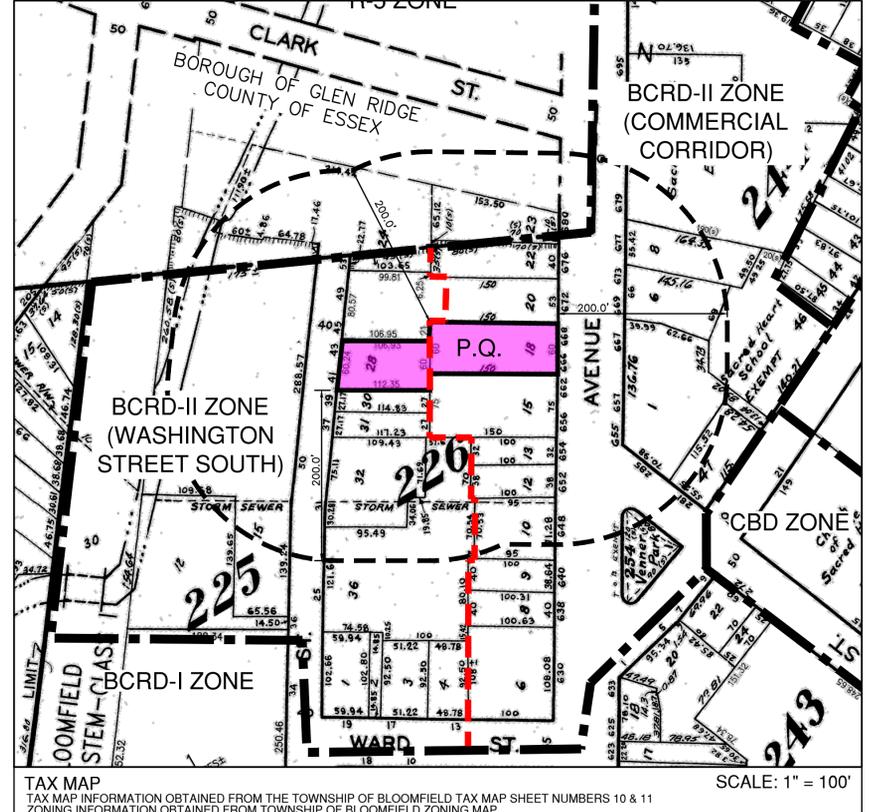


# PRELIMINARY AND FINAL SITE PLAN

## PREPARED FOR

# FRANKLIN DEVELOPMENT GROUP, LLC.

BLOCK 226, LOT 18 & 28  
 668 BLOOMFIELD AVENUE  
 TOWNSHIP OF BLOOMFIELD  
 ESSEX COUNTY, NEW JERSEY



SITE DATA CHART				
APPLICANT: FRANKLIN DEVELOPMENT GROUP 46 CHURCH ST MONTCLAIR, NJ 07042	OWNER: LAMBERSON REALTY, LLC 668 BLOOMFIELD AVENUE BLOOMFIELD, NJ 07003	PROPERTY: 668 BLOOMFIELD AVENUE BLOOMFIELD, NJ 07003	BLOCK 226, LOT 18 & 28 TOTAL TRACT: 15,578 SF / 0.3582 AC	
ZONE: BCRD-II BLOOMFIELD CENTER REDEVELOPMENT PLAN - II				
EXISTING USE: COMMERCIAL		PROPOSED USE: MIXED USE - COMMERCIAL ON FIRST FLOOR WITH RESIDENTIAL ABOVE (24 UNITS)		
SCHEDULE OF HEIGHT, AREA, BULK AND OTHER REQUIREMENTS				
DESCRIPTION	CODE	EXISTING	PROPOSED	COMPLIANCE
MIN. LOT AREA (SF)	N/A	15,578 SF	NO CHANGE	-
MIN. LOT DEPTH (FT)	N/A	259.6 FT	NO CHANGE	-
MIN. LOT WIDTH (FT)	N/A	60.0 FT	NO CHANGE	-
FRONT YARD SETBACK (FT)	MIN. 0'-0" TO MAX 5'-0"	0.2 FT	0 FT	YES
REAR YARD SETBACK (FT)	N/A	152.9 FT	104.6 FT	-
SIDE YARD SETBACK (FT)	N/A	0.2 FT (S) - 0.3 FT (N)	0 FT	-
MAX. BUILDING HEIGHT <sup>(1)</sup>	MIN. 48'-0" TO MAX 88'-0"	-	56'-0"	YES
MAX. BUILDING COVERAGE	N/A	27.7%	57.8%	-
MAX. LOT COVERAGE	N/A	100%	90.0%	-
PARKING REQUIREMENTS				
ON-SITE PARKING SPACES	36 SPACES	-	28 SPACES <sup>(1)</sup>	NO*
MIN. AISLE WIDTH - 90° PARKING	24 FT	-	23 FT	NO*
MIN. PARKING SPACE DIMENSIONS	9' x 18'	-	9' x 17.5'	NO*
MIN. COMPACT PARKING DIMENSIONS	8.5' x 15'	-	9' x 17.0'	YES

<sup>(1)</sup> BUILDING IS LOCATED ENTIRELY WITHIN THE "COMMERCIAL CORRIDOR" REDEVELOPMENT AREA  
 \* VARIANCE REQUIRED

**REQUIRED PARKING CALCULATIONS:**

1.4 PER RESIDENTIAL UNIT AND 2.7 PER 1,000 SF OF RETAIL SPACE  
 24 UNITS AND 713 SF RETAIL SPACE PROPOSED  
 (24 x 1.4) + (2.7 x 713/1000) = 35.5 SPACES

**ELECTRIC VEHICLE PARKING CALCULATIONS (PER N.J.A.C. 40:550-66.20):**

36 SPACES x 15% = 5.4 --> 6 EV SPACES REQUIRED

6 EV SPACES PROPOSED

**IMPERVIOUS COVERAGE CALCULATION:**

BUILDINGS 9,000 SF  
 DRIVEWAYS/PARKING 5,017 SF  
 TOTAL 14,017 SF

IMPERVIOUS COVERAGE = 14,017 SF / 15,578 SF = 89.98%

**BUILDING COVERAGE CALCULATION:**

EXISTING: BUILDING COVERAGE = 4,320 SF / 15,578 SF = 27.73%

PROPOSED: BUILDING COVERAGE = 9,000 SF / 15,578 SF = 57.78%

**MOTOR VEHICLE SURFACE CALCULATION:**

EXISTING: MOTOR VEHICLE SURFACE = 8,400 SF / 43,560 SF/AC = 0.19 AC

PROPOSED: MOTOR VEHICLE SURFACE = 4,780 SF / 43,560 SF/AC = 0.11 AC

<sup>(1)</sup> INCLUDES 4 EV PARKING SPACE CREDITS

TAX MAP  
 TAX MAP INFORMATION OBTAINED FROM THE TOWNSHIP OF BLOOMFIELD TAX MAP SHEET NUMBERS 10 & 11  
 ZONING INFORMATION OBTAINED FROM TOWNSHIP OF BLOOMFIELD ZONING MAP

Block	Lot	Property Location	Owner	730 Code
225	15	50 FARRAND STREET	FARRAND STREET ASSOCIATES LLC	07003
226	10	648 BLOOMFIELD AVENUE	BEST, JAMES H. & DEBORAH	07003
226	12	652 BLOOMFIELD AVENUE	HELDER, PAVUKY, TRUSTEES	07079
226	13	654 BLOOMFIELD AVENUE	BIANCA HOLDINGS LLC % M.MILOV	07039
226	15	656-662 BLOOMFIELD AVENUE	BLOOMFIELD CENTER DEVELOPMENT LLC	07042
226	20	672 BLOOMFIELD AVENUE	YEE ENTERPRISES, LLC	33413
226	22	676 BLOOMFIELD AVENUE	676-688 BLOOMFIELD AVE. ASSOC.	07003
226	23	BLOOMFIELD AVE	UNKNOWN	07028
226	24	53 FARRAND STREET	53 FARRAND STREET LLC	07003
226	28	41-43 FARRAND STREET	LAMBERSON REALTY, LLC	07003
226	30	39 FARRAND STREET	BLOOMFIELD CENTER DEV. LLC	07042
226	31	37 FARRAND STREET	BLOOMFIELD CENTER DEV. LLC	07042
226	32	650 BLOOMFIELD AVENUE	BLOOMFIELD JOINT VENTURE	07079
244	1	655-667 BLOOMFIELD AVENUE	BLOOMFIELD AVE INVESTORS LLC	06890
244	6	669-673 BLOOMFIELD AVENUE	WANG, SHENG G & MEI YU CHENG	07013
244	8	677 BLOOMFIELD AVENUE	FIRST DEWITT/GOVERNOR/UTIL/ACCTS.	14205
244	10	675-699 BLOOMFIELD AVENUE	FIRST CLASS L - D/SACRED HEART	07079
244	46	14 STATE STREET	CHURCH OF THE SACRED HEART	07003
244	47	281 LIBERTY STREET	STRAUB/HOWARD/MICHAEL/BLOOM, L.P. N S	07728
254	1	633A BLOOMFIELD AVENUE	TOWNSHIP OF BLOOMFIELD	07003

TOWNSHIP OF BLOOMFIELD PUBLIC UTILITY LIST	TOWNSHIP OF BLOOMFIELD PUBLIC UTILITY LIST
Township of Bloomfield Municipal Clerk 1 Municipal Plaza Montclair, NJ 07003	Verizon PO Box 152206 Irving, TX 75015
PSEG Manager - Corporation Properties 80 Park Plaza T-6B Newark, NJ 07102	Passaic Valley Sewage Commission 600 Wilson Avenue Newark, NJ 07105
New Jersey Turnpike Authority PO Box 5042, 581 Main Street Woodbridge, NJ 07095	County of Essex County Clerk Hall of Records 465 Dr. Martin Luther King, Jr. Blvd Newark, NJ 07102
Passaic Valley Water Commission 1525 Main Avenue PO Box 230 Clifton, NJ 07015	
City of Newark Water Bureau 1294 McBride Avenue Little Falls, NJ 07424	Norfolk Southern RR Corporation 3 Commercial Place Norfolk, VA 23510
North Jersey Dist. Water Supply Comm. 741 Ringwood Avenue Wanaque, NJ 07465	
Transcontinental Gas Pipelines PO Box 2400 Tulsa, OK 74102	
Township of Bloomfield Sub. Cable/Comcast 800 Railway Avenue Union, NJ 07083	

200' PROPERTY OWNERS' LIST - GLEN RIDGE									
21 CLARK ST	07028	NOTILIA BONDICE	24 CLARK ST	GLEN RIDGE, NJ 07028	63	9			
22 CLARK ST	07028	LYNCHBARBARA	22 CLARK ST	GLEN RIDGE, NJ 07028	63	8			
23 CLARK ST	07028	JARA GEORGE & SHEILA EDRA	19 CLARK ST	GLEN RIDGE, NJ 07028	62	1502			
24 CLARK ST	07028	FARRAND ST ASSOCIATES	48 FARRAND ST	BLOOMFIELD, NJ 07003	63	15			
25 CLARK ST	07028	BOROUGH/GLEN RIDGE	PO BOX 66	GLEN RIDGE, NJ 07028	62	8			
26 CLARK ST	07028	MAZOUJALEX R	28 CLARK ST	GLEN RIDGE, NJ 07028	63	10			
27 CLARK ST	07028	MARK/SHANNA MERRIN & RICHEL ALEYSE	2 CLARK ST	GLEN RIDGE, NJ 07028	63	1			
28 CLARK ST	07028	JANNAFOTSE EDNER & VETTRICA	23 CLARK ST	GLEN RIDGE, NJ 07028	62	13			
29 CLARK ST	07028	NORFOLK SOUTHERN RAILROAD	2001 MARKET ST FL 29	PHILADELPHIA, PA 19103	150	1			
30 CLARK ST	07028	MALLARD/MALCOM	3 CLARK ST	GLEN RIDGE, NJ 07028	62	10			
31 CLARK ST	07028	GRI/GLEN RIDGE LLC	676 BLOOMFIELD AVE	BLOOMFIELD, NJ 07003	63	14			
32 CLARK ST	07028	ROUF/AWAKELAR & HONG/JI/HUANG	4 CLARK ST	GLEN RIDGE, NJ 07028	63	2			
33 CLARK ST	07028	HUBERT JAMES & DEBORAH/BEST	10 CLARK ST	GLEN RIDGE, NJ 07028	63	5			
34 CLARK ST	07028	ROACHE/CATHERINE E	26 CLARK ST	GLEN RIDGE, NJ 07028	63	16			
35 CLARK ST	07028	CGASWIRTH NICHOLAS & MSHAMON CANDIA	8 CLARK ST	GLEN RIDGE, NJ 07028	63	4			
36 CLARK ST	07028	SHAW/REARDELL	11 CLARK ST	GLEN RIDGE, NJ 07028	62	12			
37 CLARK ST	07028	MURIELLE STAUDIA & JAMIE/FOSTER	14 CLARK ST	GLEN RIDGE, NJ 07028	63	7			
38 CLARK ST	07028	MENKOLLOV/MICHAEL & LARISSA	23 CLARK ST	GLEN RIDGE, NJ 07028	62	13501			
39 CLARK ST	07028	ARIAN/REBE	17 CLARK ST	GLEN RIDGE, NJ 07028	62	154			
40 CLARK ST	07028	SILVA/CEASAR & ANNA	6 CLARK ST	GLEN RIDGE, NJ 07028	63	3			
41 CLARK ST	07028	A/PROVOST ANDREW & JOANNA/PSCHER	7 CLARK ST	GLEN RIDGE, NJ 07028	62	11			
42 CLARK ST	07028	RYAN/CORREY & SIBOTA/SEGAN	22 CLARK ST	GLEN RIDGE, NJ 07028	63	6			

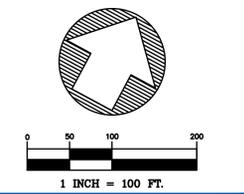
LIST OF DRAWINGS		
SHEET NO.	NAME	PREPARED BY
SP-1	TITLE SHEET	PETRY ENGINEERING
SP-2	EXISTING CONDITIONS AND DEMOLITION PLAN	PETRY ENGINEERING
SP-3	LAYOUT PLAN	PETRY ENGINEERING
SP-4	GRADING, DRAINAGE, AND UTILITY PLAN	PETRY ENGINEERING
SP-5	SOIL EROSION AND SEDIMENT CONTROL PLAN	PETRY ENGINEERING
SP-6	LANDSCAPE AND LIGHTING PLAN	PETRY ENGINEERING
SP-7	GENERAL NOTES	PETRY ENGINEERING
SP-8	CONSTRUCTION DETAILS	PETRY ENGINEERING
SP-9	CONSTRUCTION DETAILS	PETRY ENGINEERING
PB-101	FIRST AND SECOND FLOOR PLANS	GRO ARCHITECTS
PB-102	THIRD AND FOURTH FLOOR PLANS	GRO ARCHITECTS
PB-103	FIFTH FLOOR PLAN	GRO ARCHITECTS
PB-104	ROOF PLAN	GRO ARCHITECTS
1 OF 1	BOUNDARY AND TOPOGRAPHIC SURVEY	MICHAEL PRONESTI, P.L.S.

- LIST OF APPROVALS REQUIRED:**
- TOWNSHIP OF BLOOMFIELD PLANNING BOARD
  - ESSEX COUNTY PLANNING BOARD SITE PLAN
  - HEPCSD SOIL EROSION AND SEDIMENT CONTROL
  - NJDEP WATER EXTENSION PERMIT (WATER)
  - NJDEP FLOOD HAZARD AREA PERMIT

APPROVALS	
TOWNSHIP OF BLOOMFIELD PLANNING BOARD	
PLANNING BOARD CHAIRPERSON	DATE
PLANNING BOARD SECRETARY	DATE
BOARD ENGINEER	DATE



REV	DESCRIPTION	DATE
2	REVISED PER NJDEP	04/16/25
1	REVISED PER NJDEP	10/21/24



CHECKED BY: J.M.P.  
 DRAFTED BY: J.A.F.



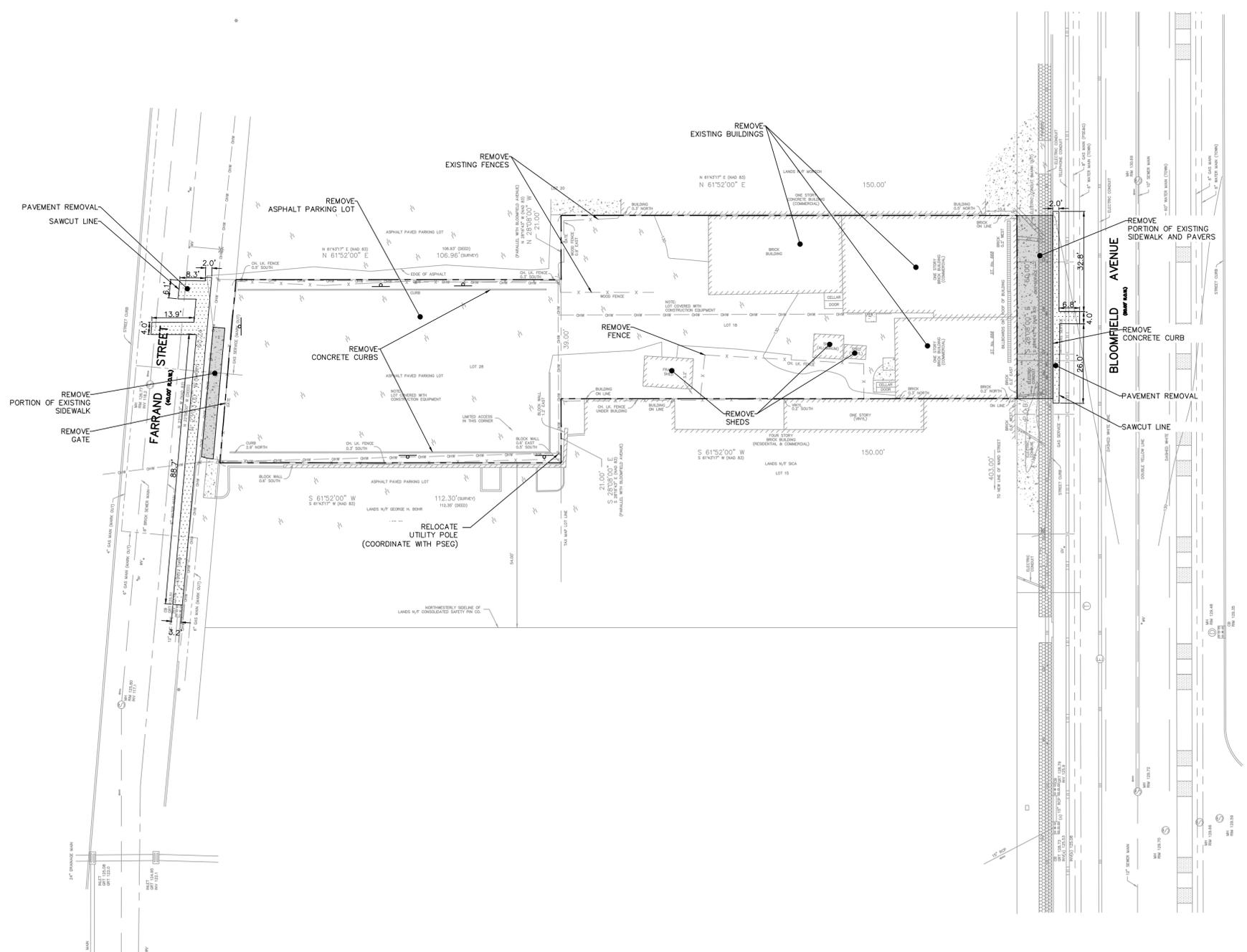
J. MICHAEL PETRY-PE, PP, RA  
 NJ PROFESSIONAL ENGINEER, LIC. No. 36862  
 DATE: 10/19/2023

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR  
**FRANKLIN DEVELOPMENT GROUP LLC**  
 BLOCK 226, LOT 18 & 28  
 668 BLOOMFIELD AVENUE  
 TOWNSHIP OF BLOOMFIELD  
 ESSEX COUNTY, NEW JERSEY

TITLE: TITLE SHEET

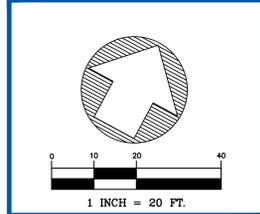
PROJECT #: 23-065 SHEET: SP-1



REFERENCES:  
 1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF 666-668 BLOOMFIELD AVENUE, 41-43 FARRAND STREET, LOTS 18 & 28 IN BLOCK 226, TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY" PREPARED BY MICHAEL PRONESTI, P.L.S. AND DATED 04/04/2023.



REV	DESCRIPTION	DATE
2	REVISED PER NJDEP	04/16/25
1	REVISED PER NJDEP	10/21/24



CHECKED BY: JMP  
 DRAFTED BY: JAF



J. MICHAEL PETRY-PE,PP,RA  
 NJ PROFESSIONAL ENGINEER LIC. No. 36662  
 DATE: 10/13/2023

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

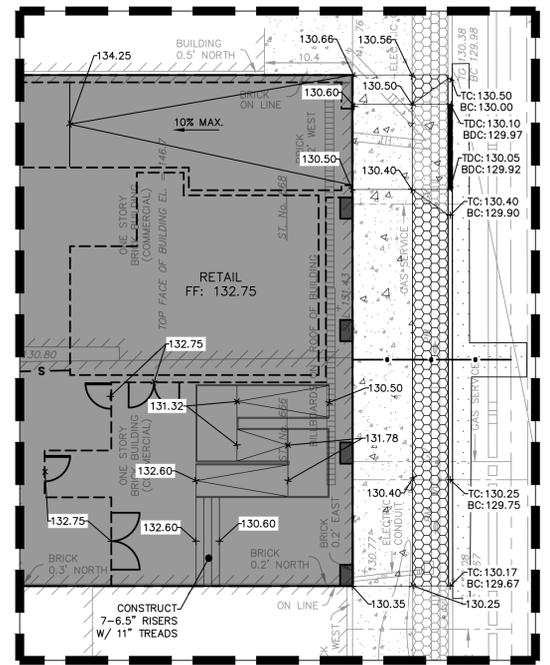
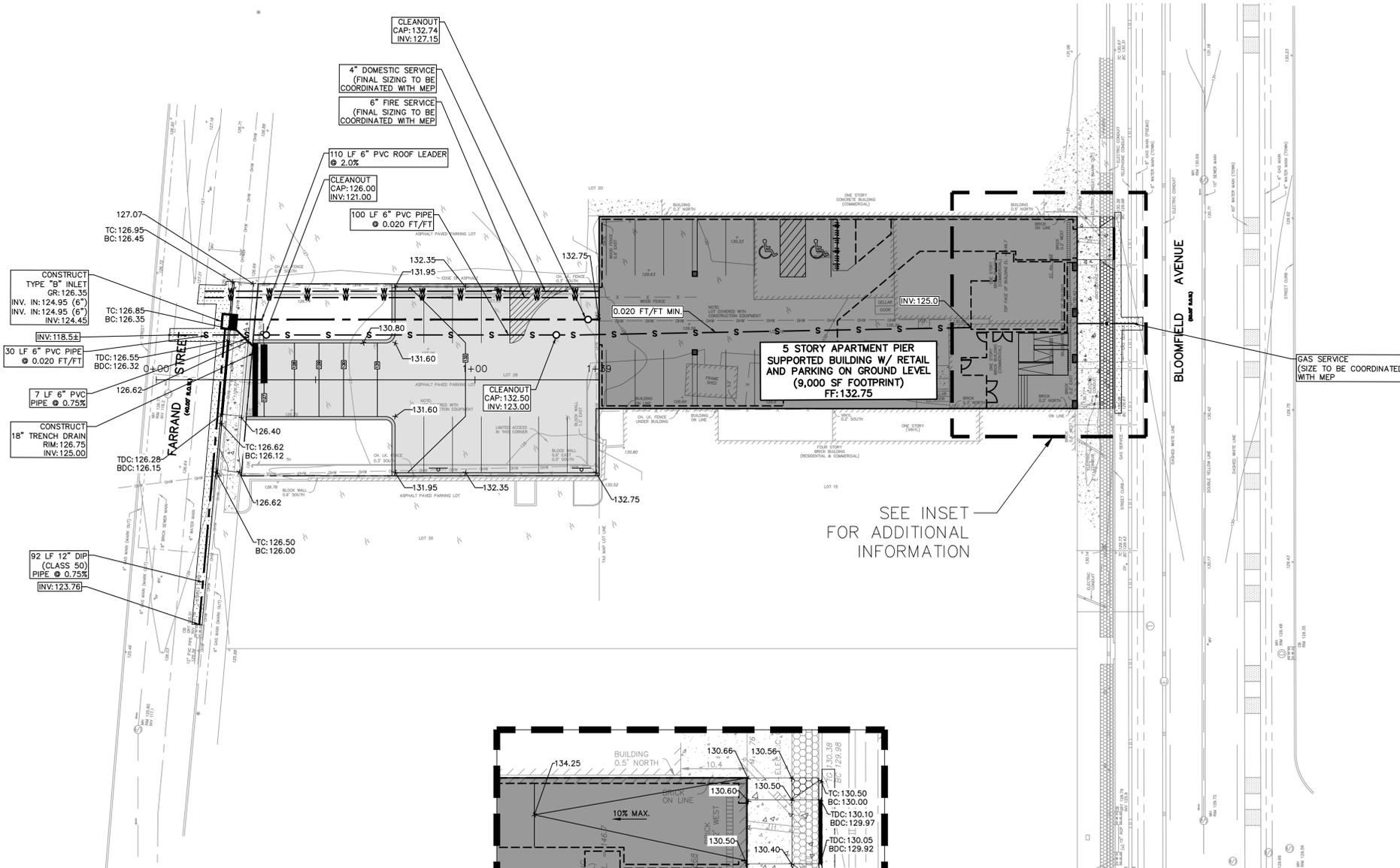
PREPARED FOR  
**FRANKLIN DEVELOPMENT GROUP LLC**  
 BLOCK 226, LOT 18 & 28  
 668 BLOOMFIELD AVENUE  
 TOWNSHIP OF BLOOMFIELD  
 ESSEX COUNTY, NEW JERSEY

TITLE:  
**EXISTING CONDITIONS AND DEMOLITION PLAN**

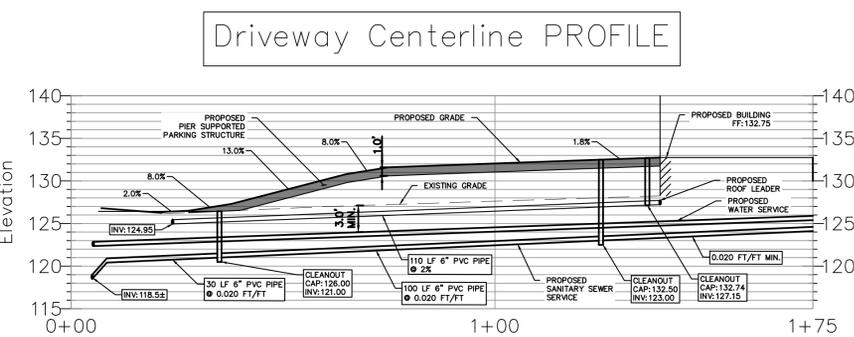
PROJECT #:  
**23-065**

SHEET:  
**SP-2**





**INSET**  
SCALE: 1"=10'



**DRIVEWAY PROFILE**  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: 1" = 10'

- FHA NOTES:**
1. THE ELEVATION OF THE NEW JERSEY FLOOD HAZARD AREA COVERING THE SUBJECT PROPERTY IN ENTIRETY IS ELEVATION 131.60 FEET NAVD 88 AS REFERENCED IN THE HYDROLOGIC AND HYDRAULIC ANALYSIS REPORT ENTITLED "SECOND RIVER METHOD 6 FLOOD HAZARD AREA DETERMINATION, FRANKLIN DEVELOPMENT GROUP - MIXED USE REDEVELOPMENT, BLOCK 226, LOTS 18 & 28, BLOOMFIELD TOWNSHIP, ESSEX COUNTY, NEW JERSEY" PREPARED BY JOSEPH J. SKUPIEN, PE, PP, SWM CONSULTING AND DATED SEPTEMBER 29, 2024.
  - NEW JERSEY FLOOD HAZARD AREA DESIGN FLOOD (FHA) ELEVATION: 131.60 10% ANNUAL CHANCE FLOOD ELEVATION: 127.90
  2. THE VERTICAL DATUM FOR FLOOD ELEVATIONS AND THE SURVEY IS NAVD-88. TO CONVERT TO NGVD-29, ALL ELEVATIONS HEREON SHOWN MUST BE RAISED BY 0.95'
  3. METHOD 6 (CALCULATION METHOD) WAS USED TO DETERMINE THE LIMIT & ELEVATION OF THE FLOOD HAZARD AREA.
  4. CONTOUR INTERVAL = 1 FOOT
  5. PROPOSED BUILDING & PARKING AREA TO BE PIER SUPPORTED TO ALLOW FOR FLOOD STORAGE BENEATH BOTH STRUCTURES DOWN TO EXISTING GRADE.

**SEWER DEMAND CALCULATION:**

APARTMENT:	24-2 BEDROOM UNITS
	24 X 225 GPD = 5,400 GPD
RETAIL:	713 SF @ 0.1 GPD/SF
	713 X 0.1 = 71.3 GPD
<b>TOTAL</b>	<b>= 5,471 GPD*</b>

**WATER DEMAND CALCULATION:**

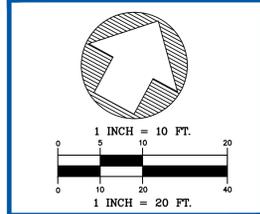
APARTMENT:	24-2 BEDROOM UNITS
	24 X 140 GPD = 3,360 GPD

**REFERENCES:**

1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF 666-668 BLOOMFIELD AVENUE, 41-43 FARRAND STREET, LOTS 18 & 28 IN BLOCK 226, TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY" PREPARED BY MICHAEL PRONESTI, P.L.S. AND DATED 04/04/2023.

\*TWA APPLICATION NOT REQUIRED SINCE GPD IS LESS THAN 8,000 GPD

REV	DESCRIPTION	DATE
2	REVISED PER NJDEP	04/16/25
1	REVISED PER NJDEP	10/21/24



CHECKED BY: JMP  
DRAFTED BY: JAF

J. MICHAEL PETRY-PE,PP,RA  
NJ PROFESSIONAL ENGINEER LIC. No. 36862  
DATE: 10/13/2023

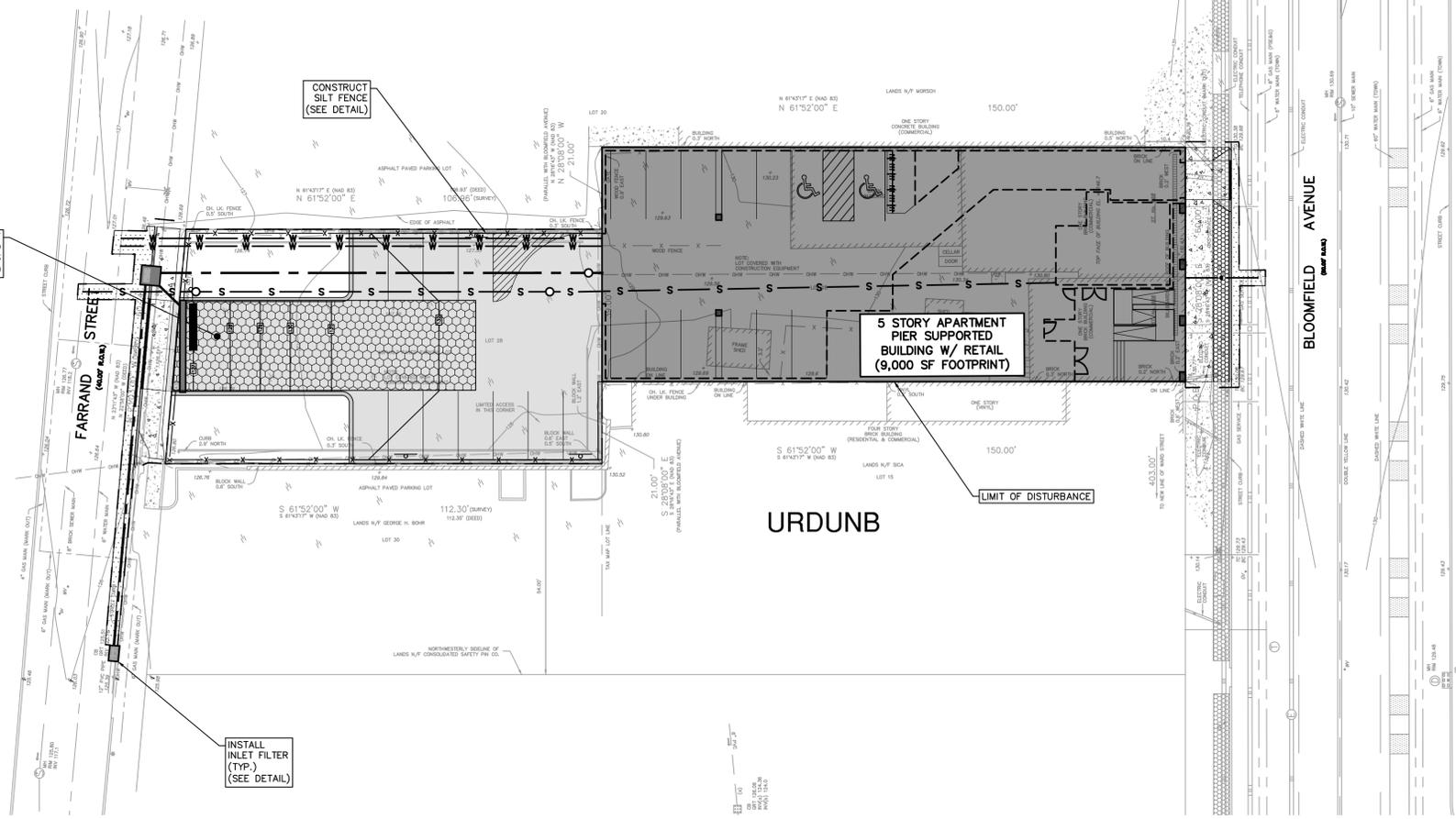
CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR  
**FRANKLIN DEVELOPMENT GROUP LLC**  
BLOCK 226, LOT 18 & 28  
668 BLOOMFIELD AVENUE  
TOWNSHIP OF BLOOMFIELD  
ESSEX COUNTY, NEW JERSEY

TITLE:  
**GRADING, DRAINAGE AND UTILITY PLAN**

PROJECT #:  
**23-065**

SHEET:  
**SP-4**



**DUST CONTROL NOTES**

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST

- MULCHES – SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1).
- VEGETATIVE COVER – SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (PG. 4-1) AND PERMANENT STABILIZATION WITH SOD (PG. 6-1).
- SPRAY-ON ADHESIVES – ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS), KEEP TRAFFIC OFF THESE AREAS.

MATERIAL	WATER DILUTION	TYPE OF NOZZEL	APPLY GALLONS/ACRE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE ON/DRY SPRAY	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (PG. 26-1)		
ACCULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

- TILLAGE – TO TOUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN FLOWING ON WINDWARD SIDE IF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING – SITE IS SPRINKLED UNTIL SURFACE IS WET.
- BARRIERS – SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIALS CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE – SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP THE SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

**SOIL COMPACTION EXEMPTION NOTE**

AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1). UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGROWTH, IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".

**SOIL LEGEND**

SOIL INFORMATION OBTAINED FROM WEB SOIL SURVEY, MAP PRINTED ON 09/21/2023

URDUNB – URBAN LAND, DUNELLEN SUBSTRATUM, 0 TO 8 PERCENT SLOPES

**TEMPORARY STABILIZATION**

- STREETS, DRIVEWAYS AND PARKING AREAS NOT SCHEDULED FOR PAVING WITHIN THE ALLOTTED TIME FRAME SHALL BE STABILIZED USING PAVEMENT SUBBASE COURSE. THIS SUBBASE COURSE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.
- ALL AREAS NOT SCHEDULED FOR PAVING SHALL RECEIVE A TEMPORARY SEEDING IMMEDIATELY FOLLOWING FOLLOWING ROUGH GRADING.
- APPLY FERTILIZER AT A RATE OF 500 LBS./ACRE OR 11 LBS./1,000 SF. OF 10-20-10 EQUIVALENT. APPLY LIMESTONE AT A RATE OF 2 TONS/ACRES.
- WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES UNTIL UNIFORM.
- TEMPORARY SEEDING WILL BE A MIX OF ANNUAL RYEGRASS OR PERENNIAL RYEGRASS AT A RATE OF 100 LBS./ACRE OR 1 LB./1,000 SF.
- UN-ROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT A RATE OF 1-1/2 TO 2 TONS/ACRE (70 TO 90 LBS./1,000 SF).

**PERMANENT STABILIZATION**

- ALL AREAS NOT SCHEDULED FOR CONSTRUCTION OR LANDSCAPING TO BE STABILIZED USING SEED MIXTURE NO. 13 CONSISTING OF HARD FESCUE AND/OR CHEWING FESCUE AT A RATE OF 175 LBS./ACRE (4 LBS./1,000 SF), STRONG CREEPING RED FESCUE PERENNIAL RYEGRASS & KENTUCKY BLUEGRASS (BLEND), BOTH AT A RATE OF 45 LBS./ACRE (1LB/1000 SF)
- UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO SPREAD TOPSOIL AT A RATE OF 500 LBS./ACRE OR 11 LBS./1,000 SF OF 10-10-10 EQUIVALENT.
- WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES UNTIL UNIFORM.
- REMOVE ALL SURFACE DEBRIS AND STONES 2 INCHES OR LARGER.
- UN-ROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT A RATE OF 1-1/2 TO 2 TONS/ACRE (70 TO 90 LBS./1,000 SF).
- INSPECT SEEDBED JUST BEFORE SEEDING IF TRAFFIC HAS LEFT THE SOIL COMPACTED. THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.
- A DEPTH OF 5 INCHES OF TOPSOIL IS REQUIRED FOR ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER.

**SEQUENCE OF CONSTRUCTION**

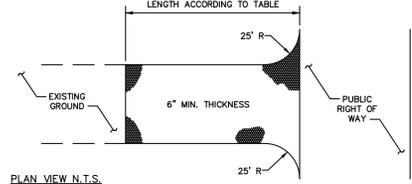
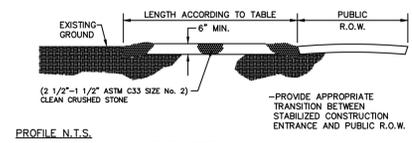
- INSTALL SILT FENCE AND ANTI-TRACKING PAD (DURATION: APPROX. 1 DAY)
- DEMO EXISTING SITE AND ROUGH GRADE (DURATION: APPROX. 1 WEEK)
- CONSTRUCT BUILDING (DURATION: APPROX. 6 MONTHS)
- STABILIZE AND SEED ALL DISTURBED AREAS (DURATION: APPROX. 2 DAYS)
- REMOVE ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES (DURATION: APPROX. 1 DAY)

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

(To be included on the signed erosion control plan sheet)

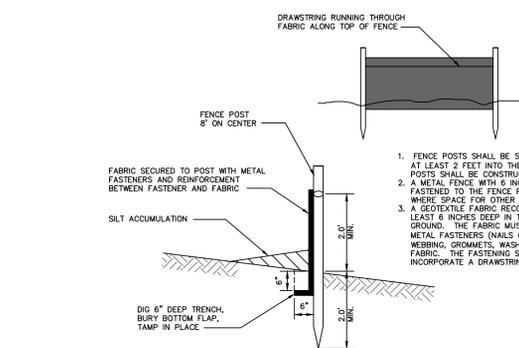
- All soil erosion and sediment control practices on this plan will be constructed in accordance with the "New Jersey Standards for Soil Erosion and Sediment Control" 7th Edition last revised December 2017. These measures will be installed prior to any major soil disturbance or in their proper sequence and maintained until permanent protection is established.
- All soil to be exposed or stockpiled for a period of greater than 14 days, and not under active construction, will be temporarily seeded and hay mulched or otherwise provided with vegetative cover. This temporary cover shall be maintained until such time whereby permanent stabilization is established.
- Seeding Dates: The following seeding dates are recommended to best establish permanent vegetative cover within most locations in the HEPSCD: Spring - 3/1-5/15 and Fall - 8/15 - 10/1
- Sediment fences are to be properly trenched and maintained until permanent vegetative cover is established
- All storm drainage inlets shall be protected by one of the practices accepted in the Standards, and protection shall remain until permanent stabilization has been established. Storm drainage outlet points shall be protected as required before they become functional.
- Mulch materials shall be un-rotted small grain straw applied at the rate of 70 to 90 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or netting tie down. Other suitable materials may be used if approved by the Soil Conservation District.
- All erosion control devices shall be periodically inspected, maintained and corrected by the contractor. Any damage incurred by erosion shall be rectified immediately.
- The Hudson-Essex-Passaic Soil Conservation District will be notified in writing at least 48 hours prior to any soil disturbing activities. Fax - (862) 333-4507 OR email - INFORMATION@HEPSCD.ORG
- The applicant must obtain a District issued Report-of-Compliance prior to applying for the Certificate of Occupancy or Temporary Certificate of Occupancy from the respective municipality, NJ - DCA or any other controlling agency. Contact the District at 862-333-4505 to request a Final Inspection, giving advanced notice upon completion of the rehabilitation measures. A performance deposit may be posted with the District when winter weather or snow cover prohibits the proper application of seed, mulch, fertilizer or hydro-seed.
- Paved roadways must be kept clean at all times. Do not utilize a fire or garden hose to clean roads unless the runoff is directed to a properly designed and functioning sediment basin. Water pumped out of the excavated areas contains sediments that must be removed prior to discharging to receiving bodies of water using removable pumping stations, pump pits, portable sedimentation tanks and/or silt control bags.
- All surfaces having lawn or landscaping as final cover are to be provided topsoil prior to re-seeding, sodding or planting. A depth of 5.0 inches, firmed in place, is required, as per the Standards for Topsoiling and Land Grading, last revised December 2017.
- All plan revisions must be submitted to the District for proper review and approval.
- A crushed stone wheel cleaning tracking-pad is to be installed at all site exits using 2 1/2" - 1" crushed angular stone (ASTM 2 or 3) to a minimum length of 50 feet and minimum depth of 6". All driveways must be provided with crushed stone until paving is complete.
- Steep slopes incurring disturbance may require additional stabilization measures. These "special" measures shall be designed by the applicant's engineer and be approved by the Soil Conservation District.
- The Hudson-Essex-Passaic Soil Conservation District shall be notified, in writing, for the sale of any portion of the project or for the sale of individual lots. New owners' information shall be provided. Additional measures deemed necessary by District officials shall be implemented as conditions warrant.

http://hepscoilnj.org  
HEPSCD251SESCNOTES\_7THEDREV2017

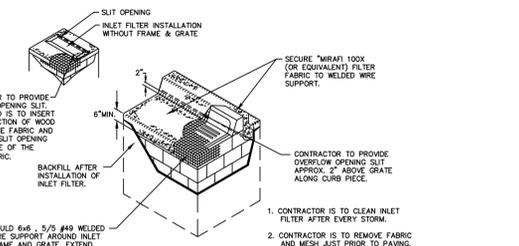


PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COURSE GRANDED SOILS	FINE GRANDED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
> 5%	ENTIRE SURFACE STABILIZED WITH FABR BASE COURSE	

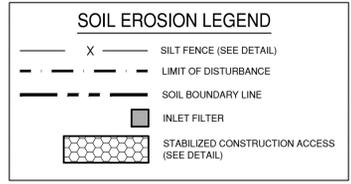
**STABILIZED CONSTRUCTION ACCESS DETAIL**  
SCALE N.T.S.



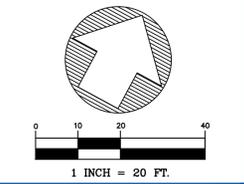
**SILT FENCE DETAIL**  
SCALE N.T.S.



**INLET FILTER DETAIL**  
SCALE N.T.S.



TOTAL AREA OF DISTURBANCE:  
18,000 SQ.FT. OR 0.413± AC.



CHECKED BY: JMP  
DRAFTED BY: JAF



J. MICHAEL PETRY-PE, PP, RA  
NJ PROFESSIONAL ENGINEER LIC. No. 36862  
DATE: 10/13/2023

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

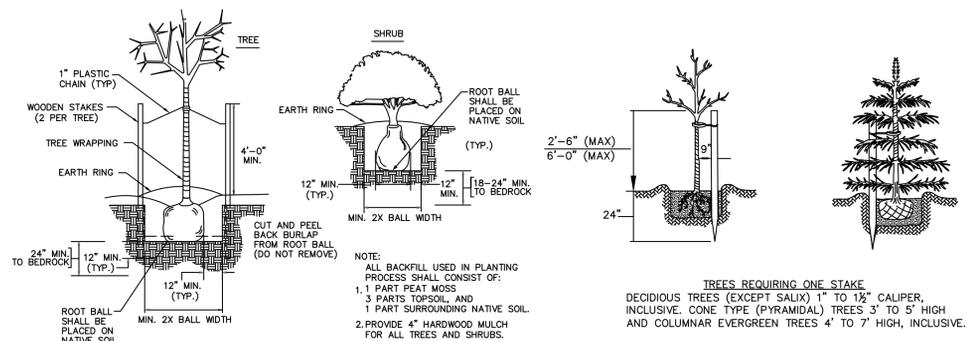
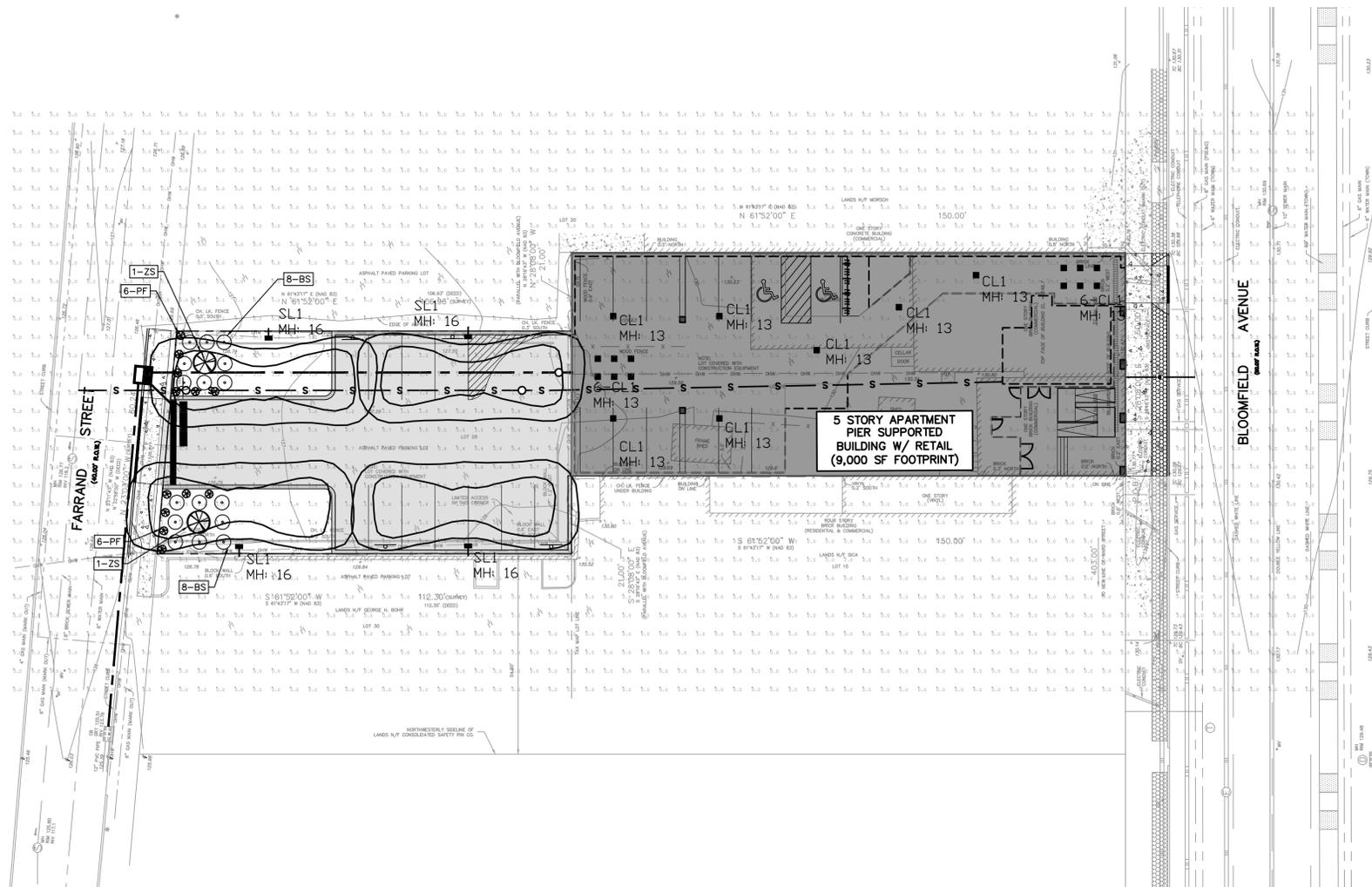
PREPARED FOR  
**FRANKLIN DEVELOPMENT GROUP LLC**  
BLOCK 226, LOT 18 & 28  
668 BLOOMFIELD AVENUE  
TOWNSHIP OF BLOOMFIELD  
ESSEX COUNTY, NEW JERSEY

TITLE:  
**SOIL EROSION AND SEDIMENT CONTROL PLAN**

PROJECT #:  
**23-065**

SHEET:  
**SP-5**

REFERENCES:  
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF 666-668 BLOOMFIELD AVENUE, 41-43 FARRAND STREET, LOTS 18 & 28 IN BLOCK 226, TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY" PREPARED BY MICHAEL PRONESTI, P.L.S. AND DATED 04/04/2023.

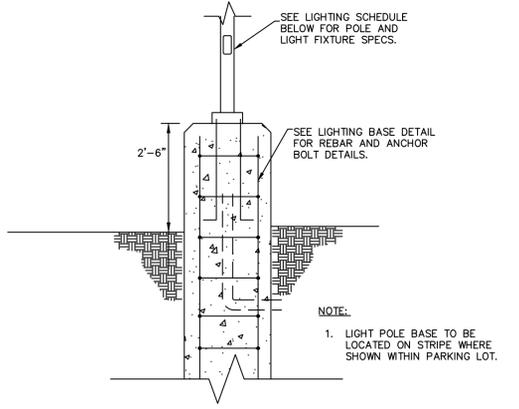


PLANTING DETAIL SCALE - N.T.S.  
STAKING DETAILS SCALE - N.T.S.

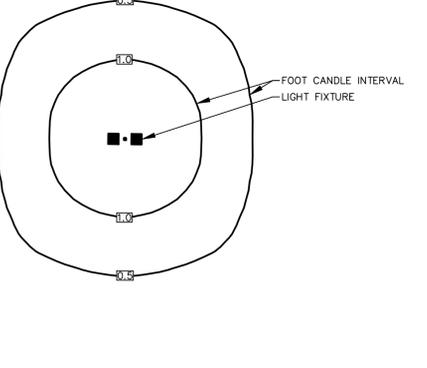
TREE PLANTING SCHEDULE					
SYM	BOTANICAL NAME	COMMON NAME	SIZE/TYPE	SPACING	QUANTITY
BS	BUXUS SEMPERVIRENS	COMMON BOXWOOD	B&B 18" TO 24" HT.	5' C.C.	16
PF	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	2' HT.	4' C.C.	12
ZS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2.5"-3" CAL. B&B	20' C.C.	2

LUMINAIRE SCHEDULE **REFER TO LIGHTING FIXTURE CUTSHEETS FOR COMPLETE CATALOG NUMBERS**												
Symbol	Qty	Arrangement	Fixture Type	Description	Manufacturer	Catalog Number	CCT	LLF	Total Watts	Delivered Lumens	Mounting Height	Filename
CL1	19	Single	CL1	CEILING MOUNTED LED CANOPY LIGHT	EXO	SGC-F-60-4K-M16	4000K	0.900	53.4	6203	13	SGC-F-60-4K.ies
SL1	4	Single	SL1	SINGLE POLE MOUNTED AREA LIGHT, TYPE 4 DISTRIBUTION WITH HOUSE SIDE SHIELD	EXO	RAR1-80L-25-3K7-4W-BC-M16	3000K	0.900	25.496	1996	16	RAR1-80L-25-3K7-4W-BC.ies

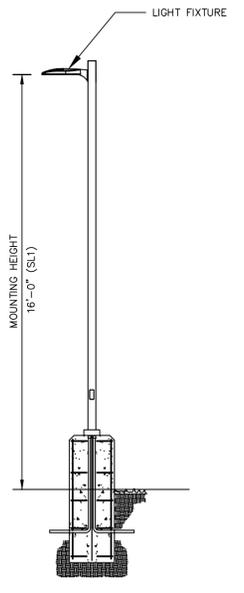
CALCULATION SUMMARY									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpCtLr	PtSpCtB
OVERALL	Illuminance	Fc	1.2	50.8	0.0	N.A.	N.A.	5	5
OUTDOOR PARKING	Illuminance	Fc	0.9	1.7	0.2	4.5	8.5		
UNDER BUILDING PARKING	Illuminance	Fc	12.7	50.8	0.0	N.A.	N.A.		



PARKING AREA LIGHTING DETAIL SCALE - N.T.S.

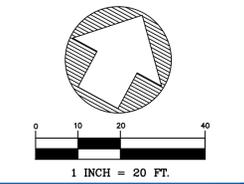


ISOLUX DIAGRAM SCALE - N.T.S.



MOUNTING HEIGHT DIAGRAM SCALE - N.T.S.

REFERENCES:  
1. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF 666-668 BLOOMFIELD AVENUE, 41-43 FARRAND STREET, LOTS 18 & 28 IN BLOCK 226, TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY" PREPARED BY MICHAEL PRONESTI, P.L.S. AND DATED 04/04/2023.



CHECKED BY: JMP  
DRAFTED BY: JAF



J. MICHAEL PETRY-PE, PP, RA  
NJ PROFESSIONAL ENGINEER LIC. No. 36862  
DATE: 10/13/2023

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR  
**FRANKLIN DEVELOPMENT GROUP LLC**  
BLOCK 226, LOT 18 & 28  
668 BLOOMFIELD AVENUE  
TOWNSHIP OF BLOOMFIELD  
ESSEX COUNTY, NEW JERSEY

TITLE:  
**LANDSCAPE AND LIGHTING PLAN**

PROJECT #:  
**23-065**

SHEET:  
**SP-6**

**SGC-F CANOPY**  
SLING SERIES - CEILING/SURFACE/GARAGE

**FEATURES**

- Commercial grade LED canopy luminaire for use in outdoor applications such as a retail, government and educational facilities
- Low profile housing with a frosted lens for reduced glare and glare
- Available in three wattages, 20W, 40W and 60W
- Two housing finishes including white and dark bronze
- Type 5 distribution

**SPECIFICATIONS**

**CONSTRUCTION**

- Rugged die-cast aluminum housing with corrosion resistant powder coat finish, both protects and provides aesthetic appearance
- Heat dissipating fins provide superior thermal performance extending the life of the electronic components
- Housing size: 10" x 10" x 3.5"
- Lightly frosted lens for reduced LED penetration and glare

**OPTICS**

- Type 5 Distribution
- US Certified

**ELECTRICAL**

- 0-10V dimmable driver
- Universal 120-277 VAC input voltage, 50/60 Hz

**INSTALLATION**

- 3/4" conduit entry on top for pendant mounting
- 1/2" conduit entry on three sides

**KEY DATA**

Lumen Range	3224-8043
Wattage Range	22.9-59.9
Efficiency Range (LPW)	134-311
Weights (lb. @q)	4.9 (2,2)

**ORDERING GUIDE**

Catalog Number	Wattage	Input	CCT/CW	Lumens	LPW	Finish
SGC-F-20-4K	22.9	120-277V	4000K/0	3224	140.7	Bronze
SGC-F-40-4K	41	120-277V	4000K/0	5807	141.6	Bronze
SGC-F-40-4K-WH	41	120-277V	4000K/0	5807	141.6	White
SGC-F-60-4K	59.9	120-277V	4000K/0	8043	134.3	Bronze

DATE: LOCATION:  
TYPE: PROJECT:  
CATALOG #:

tradeSELECT

**UL LISTED** **IP65** **DLC LISTED** **PREMIUM**

**UL LISTED** **IP66** **DLC LISTED** **PREMIUM**

**CONTROL TECHNOLOGY**  
NXP

**SERVICE PROGRAMS**  
STOCK QSI0

**SPECIFICATIONS**

**CONSTRUCTION**

- Rectangular form mimics the traditional showerbox form factor making a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface housing with powder coat paint finish
- Common resistant, die-cast aluminum housing with powder coat paint finish

**OPTICS**

- Entire optical aperture illuminates to create a "soft" luminous surface, with resulting uniformity without sacrificing optical performance
- 0-10V Dimming Drivers are standard and dimming levels are extended out of the luminaire control options require connection to the dimming leads. Most dimming and occupancy sensor dimming and occupancy sensor dimming and occupancy sensor dimming apply for 7-pin options

**ELECTRICAL**

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature: -40°C to 40°C
- Downward beam angle 90° over voltage and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto-recovery
- Field replaceable surge protection device (SPD) available meeting ANSI/IEEE C82.41.2 Category C High and Surge Protection Category C3. Automatically takes fixture off line for protection when device is compromised

**CERTIFICATIONS**

- DLC (DesignLights Consortium) Qualified, with some Premium Qualified configurations. Not all product variations on this page are DLC Qualified. Refer to www.lighting.com for the most up-to-date list
- UL listed to E858 and CEM C22-22500-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Meets EIA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements for the Buy American Act (FAR 12.225-1). See Buy American Act (FAR 12.225-1) for more information.

**WARRANTY**

- 5 Year limited warranty
- See full Standard Warranty for additional information

**RATIO Series**  
ANALOG LIGHTS

**FEATURES**

- Low profile LED analog luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NB Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available

**CONTROL TECHNOLOGY**  
NXP

**SERVICE PROGRAMS**  
STOCK QSI0

**SPECIFICATIONS**

**CONSTRUCTION**

- Rectangular form mimics the traditional showerbox form factor making a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface housing with powder coat paint finish
- Common resistant, die-cast aluminum housing with powder coat paint finish

**OPTICS**

- Entire optical aperture illuminates to create a "soft" luminous surface, with resulting uniformity without sacrificing optical performance
- 0-10V Dimming Drivers are standard and dimming levels are extended out of the luminaire control options require connection to the dimming leads. Most dimming and occupancy sensor dimming and occupancy sensor dimming apply for 7-pin options

**ELECTRICAL**

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature: -40°C to 40°C
- Downward beam angle 90° over voltage and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto-recovery
- Field replaceable surge protection device (SPD) available meeting ANSI/IEEE C82.41.2 Category C High and Surge Protection Category C3. Automatically takes fixture off line for protection when device is compromised

**CERTIFICATIONS**

- DLC (DesignLights Consortium) Qualified, with some Premium Qualified configurations. Not all product variations on this page are DLC Qualified. Refer to www.lighting.com for the most up-to-date list
- UL listed to E858 and CEM C22-22500-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Meets EIA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements for the Buy American Act (FAR 12.225-1). See Buy American Act (FAR 12.225-1) for more information.

**WARRANTY**

- 5 Year limited warranty
- See full Standard Warranty for additional information

DATE: LOCATION:  
TYPE: PROJECT:  
CATALOG #:

**UL LISTED** **IP66** **DLC LISTED** **PREMIUM**

**UL LISTED** **IP66** **DLC LISTED** **PREMIUM**

**CONTROL TECHNOLOGY**  
NXP

**SERVICE PROGRAMS**  
STOCK QSI0

**SPECIFICATIONS**

**CONSTRUCTION**

- Rectangular form mimics the traditional showerbox form factor making a similar but updated style and appearance, ideal for retrofit applications
- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface housing with powder coat paint finish
- Common resistant, die-cast aluminum housing with powder coat paint finish

**OPTICS**

- Entire optical aperture illuminates to create a "soft" luminous surface, with resulting uniformity without sacrificing optical performance
- 0-10V Dimming Drivers are standard and dimming levels are extended out of the luminaire control options require connection to the dimming leads. Most dimming and occupancy sensor dimming and occupancy sensor dimming apply for 7-pin options

**ELECTRICAL**

- Universal 120-277 VAC or 347-480 VAC input voltage, 50/60 Hz
- Ambient operating temperature: -40°C to 40°C
- Downward beam angle 90° over voltage and less than 20% THD
- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto-recovery
- Field replaceable surge protection device (SPD) available meeting ANSI/IEEE C82.41.2 Category C High and Surge Protection Category C3. Automatically takes fixture off line for protection when device is compromised

**CERTIFICATIONS**

- DLC (DesignLights Consortium) Qualified, with some Premium Qualified configurations. Not all product variations on this page are DLC Qualified. Refer to www.lighting.com for the most up-to-date list
- UL listed to E858 and CEM C22-22500-24 for wet locations and 40°C ambient temperatures
- 3G rated for ANSI C136.31 high vibration applications
- Meets EIA recommendations using 3K CCT configuration at 0 degrees of tilt
- This product meets federal procurement law requirements for the Buy American Act (FAR 12.225-1). See Buy American Act (FAR 12.225-1) for more information.

**WARRANTY**

- 5 Year limited warranty
- See full Standard Warranty for additional information

GENERAL NOTES:

- ALL SITE IMPROVEMENTS TO BE PERFORMED IN ACCORDANCE WITH NJDOT SPECIFICATIONS (LATEST EDITION) UNLESS OTHER WISE NOTED.
- THESE PLANS REPRESENT THE OVERALL SITE WORK IMPROVEMENTS REQUIRED FOR THE PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST, AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION. AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS, AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR CONSTRUCTION IN ACCORDANCE WITH EXISTING LOCAL, COUNTY OR STATE REGULATIONS, OR ANY OTHER AGENCIES HAVING JURISDICTION IN THESE MATTERS.
- THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LOCATION OF THE UTILITIES WITH THE UTILITY DEPARTMENTS PRIOR TO CONSTRUCTION.
- THE DRAWINGS SHOW THE EXISTING CONDITIONS WHICH ARE LIKELY TO AFFECT THE PROSECUTION OF THE WORK INSOFAR AS THEY HAVE BEEN DETERMINED. THESE DRAWINGS SHOULD NOT BE USED FOR SCALING OF DIMENSIONS OR FOR DETERMINING RIGHT-OF-WAY AND PROPERTY LIMITS.
- THE LOCATION OF EXISTING SUBSTRUCTURES AND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS OF SURFACE EVIDENCE AND CERTAIN INFORMATION CONTAINED IN THE PUBLIC RECORD AND RECORD DATA PROVIDED BY THE OWNER. THIS PLAN IN NO WAY REPRESENTS A GUARANTEE, EXPRESS OR IMPLIED, TO THE ACCURACY OF THESE PLOTTED LOCATIONS. ADDITIONALLY, THESE PLANS MAKE NO GUARANTEE THAT UTILITIES AND OTHER SUBSURFACE STRUCTURES ARE THE ONLY SUBSURFACE STRUCTURES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER BRACING OF EXISTING UTILITIES AS MAY BE REQUIRED TO PREVENT DAMAGE DUE TO CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ARRANGE FOR PROPER BRACING OF ALL EXISTING UTILITIES, UTILITY POLES, AND OTHER STRUCTURES WITHIN THE VICINITY OF THE WORK WHICH MAY BE AFFECTED BY HIS OPERATIONS. ALL COST ASSOCIATED WITH THIS WORK SHALL BE INCLUDED IN THE VARIOUS UNIT PRICES BID FOR THE CONTRACT WORK.
- THE COORDINATION OF THE LOCATION OR RELOCATION, WHERE REQUIRED, OF TELEPHONE, ELECTRIC, GAS, WATER, AND ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR, AND THE SAME SHALL BE COORDINATED TO ENSURE COMPLETION WITHIN THE TIME PERMITTED.
- THE CONTRACTOR SHOULD NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON AND OR IF SUCH CONDITIONS IN THE CONTRACTOR'S OPINION WOULD OR COULD RENDER THE DESIGNS SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- EXCESS EXCAVATED MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO DISPOSE OF THE MATERIAL AT A SUITABLE LOCATION. DISPOSAL OF ALL MATERIAL, GRADING AND RESTORING THE DISPOSAL SITES, AND OBTAINING ANY PERMITS SHALL BE PERFORMED AT THE SOLE COST OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATING IN ADVANCE OF PIPEWORK TO DETERMINE THE EXACT LOCATION, SIZE, TYPE, AND DEPTH OF EXISTING UTILITY NOTED ON THE DRAWINGS PRIOR TO CONSTRUCTION. EXCEPT FOR THE EXCAVATION OF TEST PITS AS NOTED ON THE DRAWINGS OR WHEN DIRECTED BY THE ENGINEER, NO ADDITIONAL PAYMENT SHALL BE MADE FOR THIS WORK BUT SHALL BE INCLUDED IN THE VARIOUS UNIT PRICES BID FOR THE CONTRACT WORK.
- THE CONTRACTOR SHALL SUPPLY AND ERECT NECESSARY WARNING SIGNS AND PROPER TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE (TOWNSHIP OF BLOOMFIELD) POLICE DEPARTMENT. THE CONTRACTOR SHALL FURNISH FLAGMEN AS MAY BE REQUIRED TO MAINTAIN TRAFFIC. THE CONTRACTOR SHALL CONTACT THE POLICE DEPARTMENT PRIOR TO STARTING ANY WORK AND NOTIFY THEM OF HIS PROPOSED OPERATIONS.
- THE CONTRACTOR SHALL BACKFILL AND PAVE ANY OPEN TRENCH AT THE END OF EACH DAY AND SHALL TAKE ANY NECESSARY PRECAUTION TO PROVIDE A SAFE AND ACCESSIBLE WORK AREA FOR VEHICULAR AND PEDESTRIAN TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICLE ACCESS TO ALL DRIVEWAYS, BUILDING ENTRANCES, AND SIDE STREETS ALONG THE CONSTRUCTION ROUTE TO THE MAXIMUM EXTENT PRACTICABLE.
- ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS, AND WALKWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER IS MORE STRINGENT.)
- THE CONTRACTOR SHALL BRACE AND SUPPORT ALL EXISTING CURB IN THE IMMEDIATE VICINITY OF THE CONSTRUCTION WORK. PLANKS SHALL BE PLACED OVER CURBS TO PREVENT DAMAGE BY THE CONTRACTOR'S EQUIPMENT. ANY CURB WHICH IS DAMAGED, DISTURBED, OR REMOVED IN AREAS OTHER THAN WHERE THE PIPELINE CROSSES EXISTING CURBING, AS SHOWN ON THE DRAWINGS, SHALL BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE. CURB SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS ON THE DRAWINGS.
- THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE OF NJ WORKERS HEALTH AND SAFETY ACT (N.J.A.C. 12:110 ET. SEQ.) AS AMENDED AND THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) (29 CFR 1910), AS AMENDED WITH REGARD TO WORKER AND JOB SITE SAFETY.
- THE CONTRACTOR SHALL CONTRACT WITH THE (TOWNSHIP OF BLOOMFIELD) TO PROVIDE UNIFORMED POLICE FLAGMEN AS NECESSARY FOR WORK CONDUCTED WITHIN ROADWAYS.
- SELECT FILL SHALL BE EITHER CLASS I OR II SOIL.
- SHOP DRAWINGS SHALL BE PROVIDED FOR ALL DRAINAGE STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO ORDERING

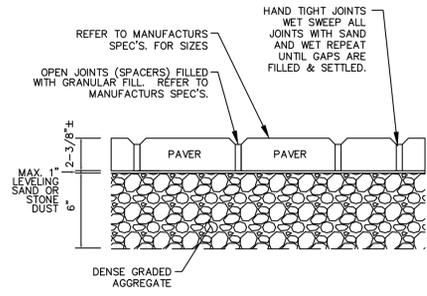
UTILITY NOTES:

- EXCESS EXCAVATED MATERIAL WILL BE DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR WILL MAKE ARRANGEMENTS TO DISPOSE OF THE MATERIAL AT A SUITABLE LOCATION. DISPOSAL OF ALL MATERIAL, GRADING AND RESTORING THE DISPOSAL SITES, AND OBTAINING ANY PERMIT WILL BE PERFORMED AT THE SOLE COST OF THE CONTRACTOR.
- THE MAXIMUM ALLOWABLE JOINT DEFLECTION FOR DUCTILE IRON PIPE SHALL BE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS AND AWWA STANDARDS.
- PROVIDE A MINIMUM VERTICAL CLEARANCE OF 18 INCHES BETWEEN WATER LINES AND UTILITIES OR OBSTRUCTIONS, UNLESS OTHERWISE SHOWN.
- ALL FITTINGS ARE TO BE MECHANICAL JOINT WITH RETAINER GLANDS. HOWEVER, SOME FITTINGS SHALL REQUIRE THE INSTALLATION OF THRUST BLOCKS AS SHOWN IN THE DRAWINGS. PROVIDE CONCRETE THRUST BLOCKS IN ACCORDANCE WITH DETAILS OR AS NOTED THE DRAWINGS, OR AS REQUIRED BY SPECIFIC SOIL CONDITIONS ENCOUNTERED. TYPICAL THRUST BLOCK REACTION DETAILS SHOWN ON THE DRAWINGS ARE MINIMUM REQUIREMENTS. WHERE GALVANIZED RODS ARE TO BE USED FOR ANCHORINGS FITTINGS OR VALVES, THE COST OF SUCH MATERIALS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR DUCTILE IRON FITTINGS AND GATE VALVES.
- NOTIFY THE ENGINEER, WATER, AND FIRE DEPARTMENTS 48 HOURS PRIOR TO MAKING CONNECTIONS TO EXISTING WATER MAINS.
- THE CONTRACTOR SHALL INSTALL TEMPORARY AIR RELEASE TAPS, AND SAMPLING TAPS WITH COPPER SAMPLING PIPE FOR TESTING AND DISINFECTION AS NEEDED OR AS REQUIRED BY THE ENGINEER. THE CONTRACTOR SHALL BE REQUIRED TO REMOVE THE SAMPLING PIPE AND CLOSE OFF THE TAP AT THE MAIN AFTER COMPLETION OF ALL TESTING AND WHEN APPROVED BY THE ENGINEER. THE FURNISHING, INSTALLATION, AND REMOVAL OF TAPS AND PIPE SHALL BE INCLUDED IN UNIT PRICE BID FOR TESTING AND DISINFECTION.
- THE GENERAL LOCATION OF FIRE HYDRANTS AND CURB BOXES ARE SHOWN ON THE DRAWINGS. HYDRANTS AND CURB BOXES SHALL BE LOCATED IN THE FIELD BY THE WATER DEPARTMENT PRIOR TO CONSTRUCTING THE WATER MAIN, DUE TO FUTURE ROAD RECONSTRUCTION WHICH SHALL RESULT IN THE RELOCATION OF EXISTING CURB AND CHANGES IN THE GRADE. THE WATER DEPARTMENT SHALL PROVIDE THE FINISHED GRADE ELEVATION FOR SETTING THE HYDRANT AND VALVE BOX.
- ANY EXISTING FIRE HYDRANTS TO BE REMOVED SHALL BE DELIVERED TO THE WATER DEPARTMENT YARD.
- THE APPROXIMATE LOCATION OF WATER SERVICE CONNECTIONS IS SHOWN IN THE DRAWINGS; THE EXACT LOCATION SHALL BE DETERMINED IN THE FIELD BY OWNER.
- CONSTRUCTION AND TRANSFER OF SERVICES SHALL ONLY BE PERFORMED AFTER THE MAIN HAS BEEN TESTED AND DISINFECTED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER. THIS INCLUDES THE INSTALLATION OF SERVICE CORPORATIONS.
- THE CONTRACTOR SHALL REFER TO ARCHITECTURAL AND/OR MEP DRAWINGS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES, INCLUDING BUT NOT LIMITED TO DOMESTIC WATER SERVICE, FIRE WATER SERVICE, GAS, SANITARY, ELECTRIC, AND ETC.
- THE MINIMUM EARTH COVER OVER ALL NEW WATER MAINS SHALL BE 4 FEET UNLESS OTHERWISE INDICATED ON DRAWINGS. THE PIPE SHALL BE DUCTILE IRON, CEMENT LINED WITH RESTRAINED PUSH-ON JOINTS UNLESS OTHERWISE INDICATED. PIPE CLASSIFICATION FOR THE WATER MAINS SHALL BE CLASS 52. ALL FITTINGS SHALL BE DUCTILE IRON CEMENTS-LINED WITH MECHANICAL JOINTS, WITH RETAINER GLANDS CLASS 350 UNLESS OTHERWISE INDICATED ON DRAWINGS OR REQUIRED BY THE ENGINEER. ALL PIPE AND FITTINGS SHALL BE POLYETHYLENE ENCLOSED.
- THE MINIMUM EARTH COVER OVER ALL OTHER UTILITIES IS TO BE 2' FEET UNLESS OTHERWISE INDICATED ON DRAWINGS.
- WHERE EXISTING MAINS ARE TO BE ABANDONED IN PLACE, ALL OPENINGS FROM CUT PORTIONS SHALL BE COMPLETELY SEALED WITH NON-SHRINK QUICK-SETTING CEMENT, AS APPROVED BY THE ENGINEER. DO NOT BACKFILL UNTIL THE CEMENT IS CURED.
- INSTALLATION OF NEW COPPER SERVICES SHALL BE PERFORMED BY OPEN TRENCH EXCAVATION IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS. THE EMPLOYMENT OF ALTERNATIVE METHODS SHALL NOT BE PERMITTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER BRACING OF EXISTING UTILITIES AS MAY BE REQUIRED TO PREVENT DAMAGE DUE TO CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ARRANGE FOR PROPER BRACING OF ALL EXISTING UTILITIES, UTILITY POLES, AND OTHER STRUCTURES WITHIN THE VICINITY OF THE WORK WHICH MAY BE AFFECTED BY THEIR OPERATIONS. ALL COSTS ASSOCIATED WITH THIS WORK SHALL BE INCLUDED IN THE VARIOUS UNIT PRICES BID FOR THE CONTRACT WORK.
- WORK PERFORMED ON COUNTY ROADS SHALL BE LIMITED TO THE HOURS OF 9:00 A.M. TO 4:00 P.M. UNLESS OTHERWISE PERMITTED BY THE COUNTY.
- ALL UTILITIES TO BE ABANDONED SHALL BE ABANDONED IN THE STREET ACCORDING TO ALL APPLICABLE CODES.
- ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.

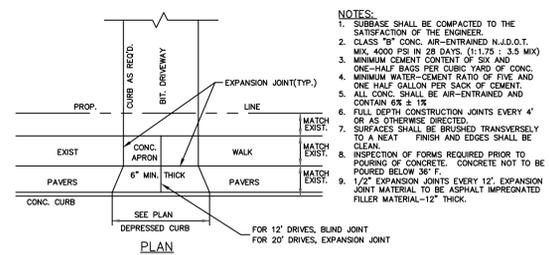
DEMO NOTES:

- DISCONNECTION OF EXISTING UTILITY SERVICES SHALL BE COORDINATED WITH THE OWNER AND IN ACCORDANCE WITH THE REGULATIONS OF THE UTILITY AUTHORITY CONCERNED. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN CONFIRMATION FROM UTILITY COMPANIES THAT ALL SERVICE TO THE SITE HAS BEEN TERMINATED PRIOR TO CAPPING, ABANDONMENT, OR REMOVAL OF ANY SUCH UTILITIES.
- EXISTING BUILDINGS, STRUCTURES, CURBS, UTILITIES, SIGNS, LANDSCAPING, AND ANY OTHER IMPROVEMENTS NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE. SHOULD DAMAGES OCCUR, THE OWNER SHALL BE NOTIFIED IMMEDIATELY, AND REPAIRS SHALL BE MADE TO MATCH EXISTING CONDITIONS AT THE CONTRACTOR'S EXPENSE.
- ALL CONCRETE, CMU, PAVER, AND BRICK MATERIAL DESIGNATED FOR DEMOLITION SHALL BE COMPLETELY REMOVED FROM THE SITE. INCLUDING, BUT NOT LIMITED TO, SLABS, FLOORS, BARRIERS, CURBS, AND SIDEWALKS.
- WALLS, BEAMS, COLUMNS, FLOOR, SLABS, PAVEMENTS, RAMPS, FOOTINGS, AND ALL OTHER BUILDING COMPONENTS OR APPURTENANCES DESIGNATED FOR REMOVAL SHALL BE COMPLETELY REMOVED FROM THE SITE. THE RESULTING DEPRESSIONS SHALL BE FILLED AND COMPACTED AS DIRECTED, USING ONLY SUITABLE MATERIAL FROM ON-SITE MATERIAL OR APPROVED MATERIAL FROM OFF-SITE. NO DEBRIS FROM DEMOLITION OR OTHER UNSUITABLE MATERIAL SHALL BE USED. IN SPECIAL CASES, DEEP-SEALED CONCRETE OR MASONRY STRUCTURES WHICH SHALL NOT INTERFERE WITH SUBSEQUENT CONSTRUCTION MAY REMAIN IN PLACE IF SO APPROVED BY THE OWNER'S ENGINEER.
- FOLLOWING THE DEMOLITION AND REMOVAL OF ALL IMPROVEMENTS SO DESIGNATED, THE DISTURBED AREA SHALL BE GRADED, AS DIRECTED BY THE OWNER'S ENGINEER, SO THAT THE RESULTING LANDFORM SHALL NOT ALLOW FOR PONDING OR THE FORMATION OF GULLIES RESULTING FROM STORMWATER RUN-OFF.
- CONTRACTOR SHALL SECURE ALL PERMITS REQUIRED FOR WORK. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL MATERIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REMOVAL OF ANY EXISTING SITE LIGHTING WITH THE APPROPRIATE UTILITY COMPANY. LIGHT POLES SHALL BE REMOVED AND DISPOSED OF AS REQUIRED.

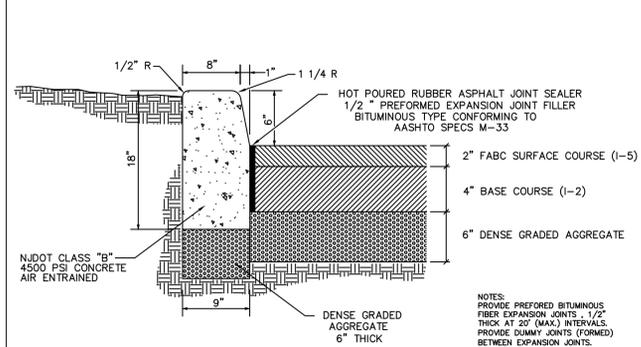




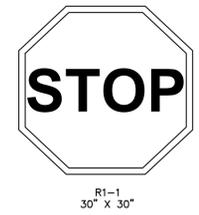
PAVER WALKWAY DETAIL  
SCALE - N.T.S.



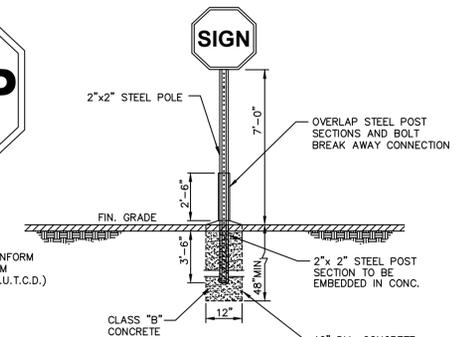
CONCRETE APRON - BLOOMFIELD AVENUE  
SCALE - N.T.S.



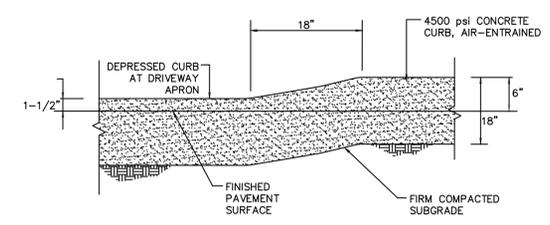
CONCRETE CURB AND FULL DEPTH PAVEMENT  
(FOR ROADWAY REPAIR)  
SCALE N.T.S.



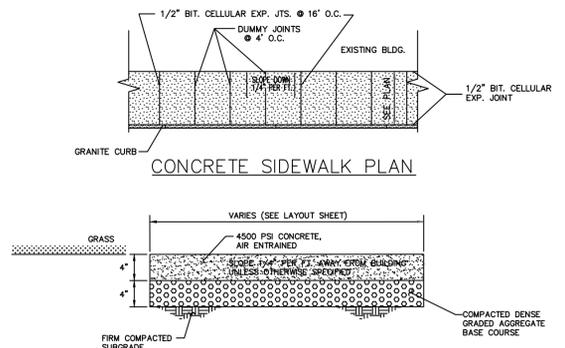
SIGNS & INSTALLATION TO CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)



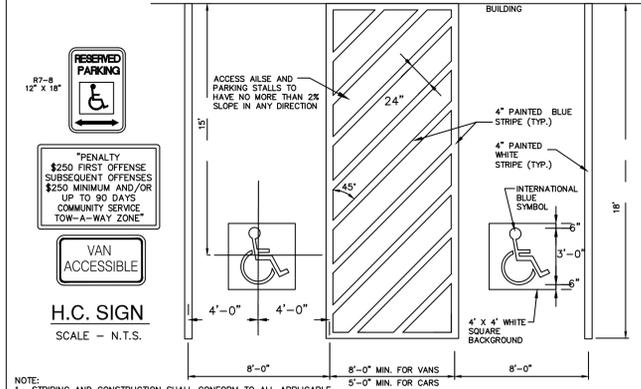
TYPICAL SIGN DETAIL  
SCALE N.T.S.



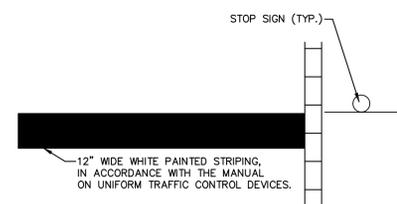
DEPRESSED CONCRETE CURB  
SCALE - N.T.S.



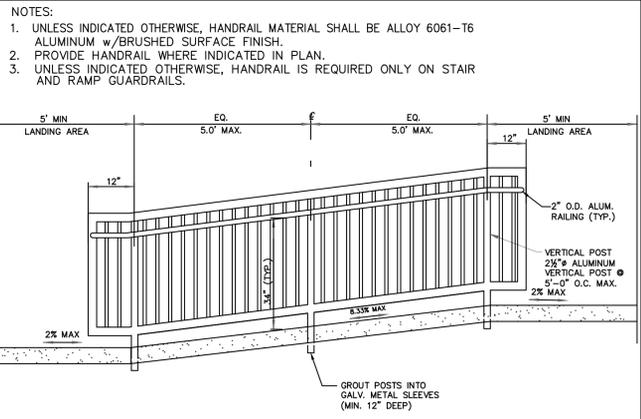
CONCRETE SIDEWALK SECTION  
CONCRETE SIDEWALK DETAIL  
SCALE - N.T.S.



HANDICAP PARKING DIMENSIONS  
SCALE - N.T.S.



"STOP BAR" DETAIL  
SCALE N.T.S.



ADA RAMP DETAIL  
N.T.S.

**PETRY**  
ENGINEERING, LLC  
1000 WASHINGTON AVENUE, SUITE 200  
FRANKLIN, NEW JERSEY 07001  
TEL: (973) 227-7000 FAX: (973) 227-7074  
PETRYENGINEERING.COM

REV	DESCRIPTION	DATE
2	REVISED PER NJDEP	04/16/25
1	REVISED PER NJDEP	10/21/24

CHECKED BY: J.M.P.  
DRAFTED BY: J.A.F.



J. MICHAEL PETRY-PE,PP,RA  
NJ PROFESSIONAL ENGINEER LIC. No. 36862  
DATE: 10/13/2023

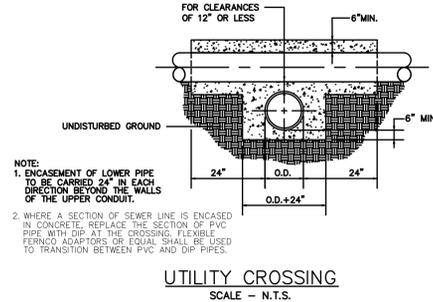
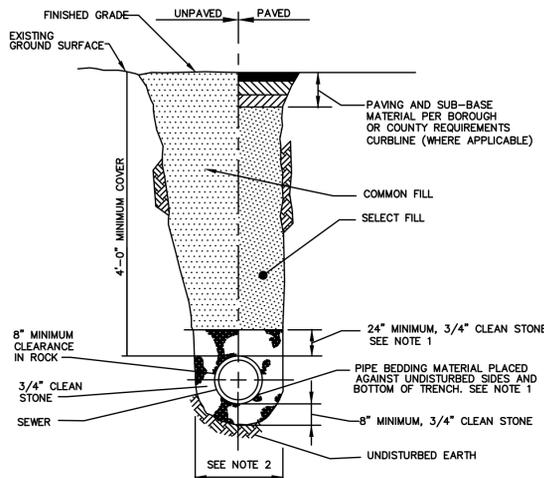
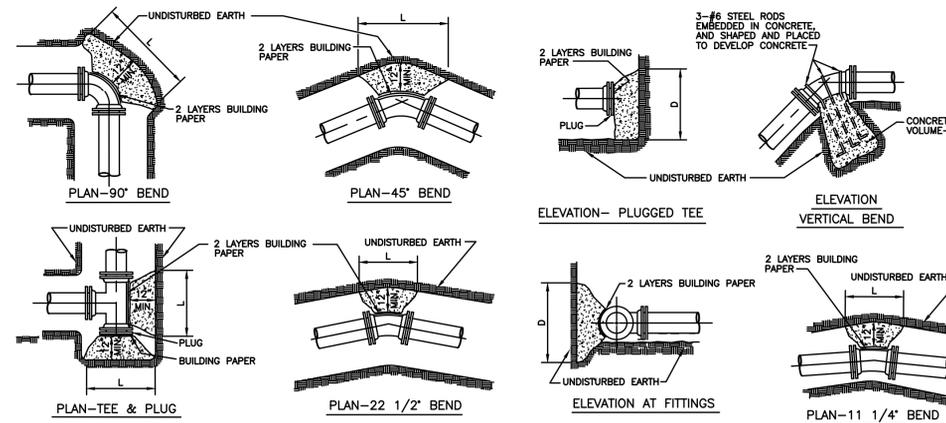
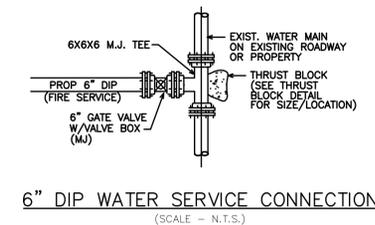
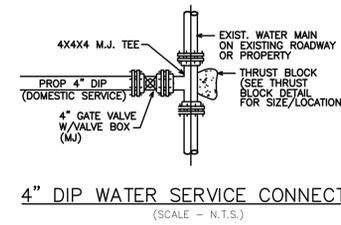
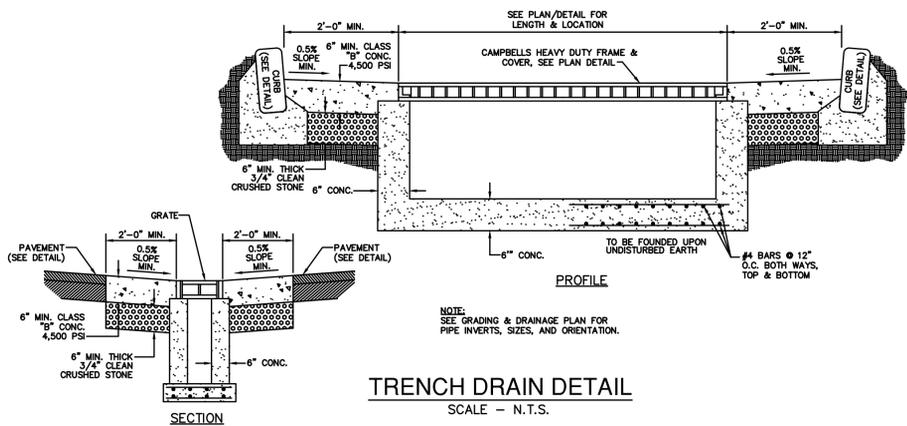
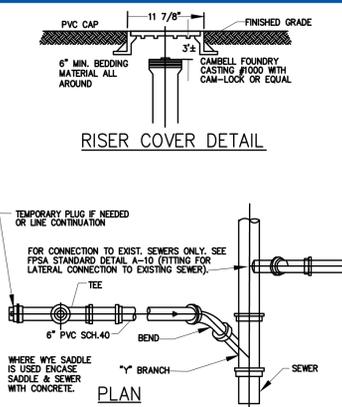
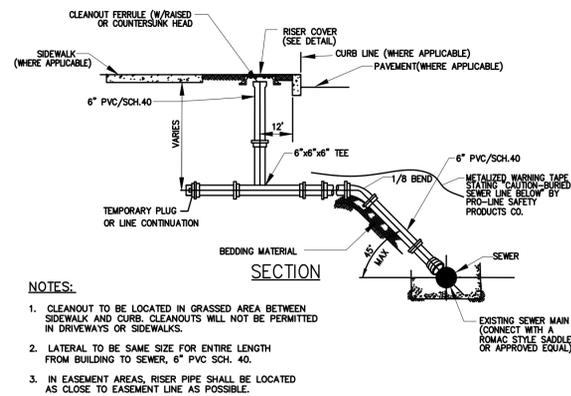
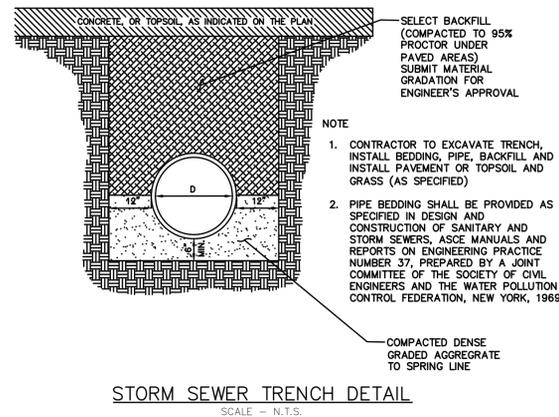
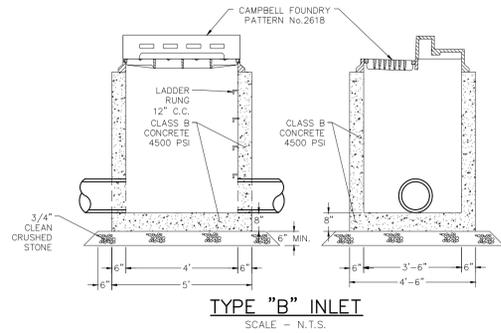
CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR  
**FRANKLIN DEVELOPMENT GROUP LLC**  
BLOCK 226, LOT 18 & 28  
668 BLOOMFIELD AVENUE  
TOWNSHIP OF BLOOMFIELD  
ESSEX COUNTY, NEW JERSEY

TITLE:  
CONSTRUCTION DETAILS

PROJECT #:  
23-065

SHEET:  
SP-8

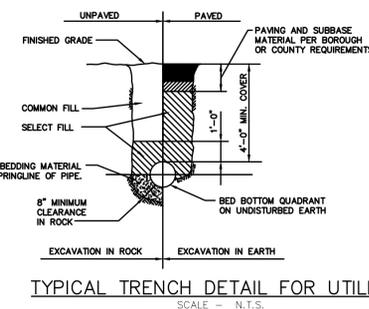


- NOTES:
- DIMENSIONS FOR REACTION BACKING ARE BASED ON AN ALLOWABLE SOIL BEARING OF 2,000 P.S.F. AND A HYDROSTATIC PRESSURE OF 200 P.S.I.
  - CONCRETE THRUST BLOCKS TO BE CONSTRUCTED WHERE CONDITIONS PRECLUDE THE USE OF RESTRAINED JOINT PIPE, OR WHERE ADDITIONAL RESTRAINT MAY BE REQUIRED. AT ALL DEAD ENDS INSTALL CAP WITH MEGALUG RETAINER GLAND AND CONSTRUCT CONCRETE THRUST BLOCK.
  - CONCRETE SHALL BE 3,500 P.S.I.
  - ALL FITTINGS AND VALVES CONSTRUCTED WITH THRUST BLOCKS WILL BE INSTALLED WITH POLYETHYLENE ENCASEMENT AND PROPERLY TIED TO PROTECT BOLTS AND NUTS FROM CONCRETE.

PIPE SIZE	TEE OR PLUG		90° BEND		45° BEND		22 1/2° OR 11 1/4° BEND			
	L	D	L	D	L	D	L	D		
4"	3'-0"	2'-0"	2'-4"	2'-0"	3	2'-3"	2'-0"	2	1'-6"	1'-6"
8"	4'-0"	2'-6"	5'-6"	2'-6"	5	3'-0"	2'-6"	4	2'-2"	1'-9"
12"	5'-3"	4'-0"	7'-6"	4'-0"	*	4'-0"	4'-0"	4	3'-0"	2'-9"

\* REQUIRES SPECIAL ANCHORAGE, SEE CONTRACT PLANS

**THRUST BLOCK DETAILS**  
(SCALE - N.T.S.)



REV	DESCRIPTION	DATE
2	REVISED PER NJDEP	04/16/25
1	REVISED PER NJDEP	10/21/24

CHECKED BY: JMP  
DRAFTED BY: JAF



J. MICHAEL PETRY-PE,PP,RA  
NJ PROFESSIONAL ENGINEER LIC. No. 36662  
DATE: 10/13/2023

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR  
**FRANKLIN DEVELOPMENT GROUP LLC**  
BLOCK 226, LOT 18 & 28  
668 BLOOMFIELD AVENUE  
TOWNSHIP OF BLOOMFIELD  
ESSEX COUNTY, NEW JERSEY

TITLE:  
**CONSTRUCTION DETAILS**

PROJECT #:  
**23-065**

SHEET:  
**SP-9**