

NEW CONSTRUCTION
MULTI-FAMILY RESIDENTIAL
668 BLOOMFIELD AVENUE
BLOOMFIELD, NJ 07003
BLOCK:226, LOT:18&28
ESSEX COUNTY



CONSTRUCTION CODE COMPLIANCE:

- 2021 INTERNATIONAL BUILDING CODE WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.14)
- 2021 NATIONAL STANDARD PLUMBING CODE WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.15)
- 2021 INTERNATIONAL MECHANICAL CODE WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.20)
- 2020 NATIONAL ELECTRIC CODE WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.16)
- N.J.A.C. 5:70 UNIFORM FIRE CODE
- N.J.A.C. 5:23-7 BARRIER FREE SUBCODE AND ANSI A117.1-2017 WITH TECHNICAL AMENDMENTS ASHRAE 90.1-2019 WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.18)
- 2021 INTERNATIONAL FUEL GAS CODE WITH TECHNICAL AMENDMENTS (N.J.A.C. 5:23-3.22)

BUILDING AND SITE DATA	
ITEM	DATA
BLOCK NO.	226
LOT NO.	18&28
ZONING	ZONE BCRD-II BLOOMFIELD CENTER REDEVELOPMENT PLAN - 2
SITE AREA	15,578 SF
OCCUPANCY	M, R, S
USE GROUP	M, R-2, S-2
CONSTRUCTION TYPE	IA & VA
BUILDING AREA	40,058 SF
VOLUME	434,753 CF



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PROJECT:
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CONSULTANTS:
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 PETRY ENGINEERING, LLC.
 155 PASSAIC AVENUE
 FAIRFIELD, NJ 07004

DEVELOPMENT APPLICATION: 01 JUNE 2025

PERMIT SUBMISSION:

PROGRESS:

REVISIONS

NO.	DATE	DESCRIPTION
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NOT FOR CONSTRUCTION

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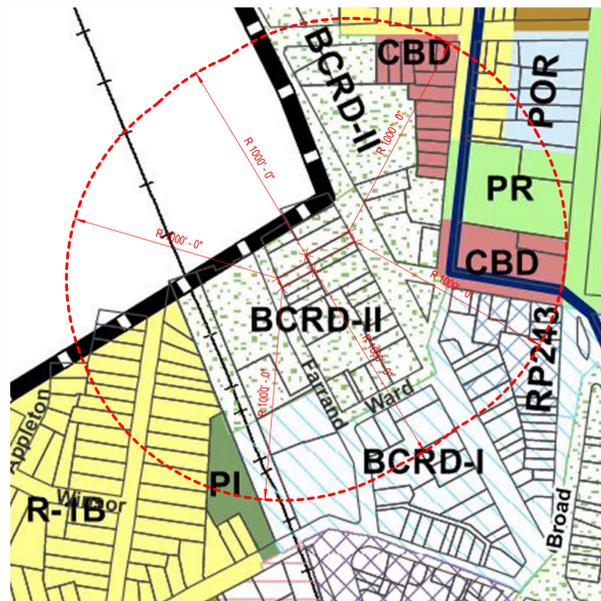
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SHEET TITLE:
 TITLE SHEET

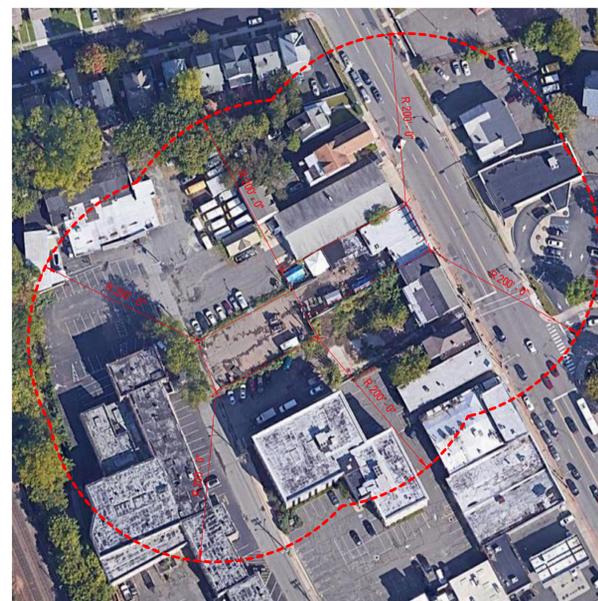
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PB-000 rev:3

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1 ZONING MAP
 1" = 400'-0"



2 LOCATION MAP
 1" = 100'-0"

GROSS UNIT TYPE SCHEDULE		
UNIT TYPE	COUNT	MIN AND MAX AREA
2 BEDROOM	24 (100%)	920 SF TO 1136 SF
Grand total	24	

PARKING SCHEDULE	
PARKING SPACE TYPE	PROPOSED
Parking Space - Standard: 9' x 17.5' - 90 deg	21
Parking Space - Compact: 9' x 17' - 90 deg	1
Parking Space - ADA: 8' x 18' (8' Aisle) VAN PARKING	1
Parking Space - ADA: 8' x 18' (5' Aisle)	1
Grand total	24

PLANNING BOARD ARCHITECTURAL SHEET LIST	
SHEET NUMBER	NAME
PB-000	TITLE SHEET
PB-010	CONTEXT PHOTOS
PB-030	EXISTING PLANS
PB-040	DEMOLITION PLANS
PB-050	PROPOSED SITE PLAN
PB-060	SITE LIGHTING PLAN
PB-080	BIKE AND TRASH REMOVAL PLAN
PB-101	GROUND AND SECOND FLOOR PLANS
PB-102	THIRD AND FOURTH FLOOR PLANS
PB-103	FIFTH FLOOR PLAN
PB-104	ROOF PLAN
PB-201	BLOOMFIELD AVENUE ELEVATION
PB-202	FARRAND STREET ELEVATION
PB-203	NORTHWEST SIDE ELEVATION
PB-204	SOUTHEAST SIDE ELEVATION
PB-301	LONGITUDINAL SECTION
PB-302	TRANSVERSE SECTION
PB-400	ENLARGED EXTERIOR ELEVATIONS
PB-900	AXON VIEW
PB-901	RENDER

PLANNING BOARD CIVIL SHEET LIST	
SHEET	SHEET TITLE
SP-1	TITLE SHEET
SP-2	EXISTING CONDITIONS AND DEMOLITION PLAN
SP-3	LAYOUT PLAN
SP-4	GRADING, DRAINAGE, AND UTILITY PLAN
SP-5	SOIL EROSION AND SEDIMENT CONTROL PLAN
SP-6	LANDSCAPE AND LIGHTING PLAN
SP-7	GENERAL NOTES
SP-8	CONSTRUCTION DETAILS
SP-9	CONSTRUCTION DETAILS

ZONING DISTRICTS WITHIN 1000'	
ZONE	TYPE
BCRD-I	BLOOMFIELD CENTER REDEVELOPMENT PLAN - 1
BCRD-II	BLOOMFIELD CENTER REDEVELOPMENT PLAN - 2
CBD	CENTRAL BUSINESS DISTRICT
PI	PRIVATE/INSTITUTIONAL
POR	PROFESSIONAL OFFICE/RESIDENTIAL
PR	PUBLIC/RECREATIONAL
R-1B	SINGLE FAMILY
RP243	REDEVELOPMENT PLAN BLOCK 243

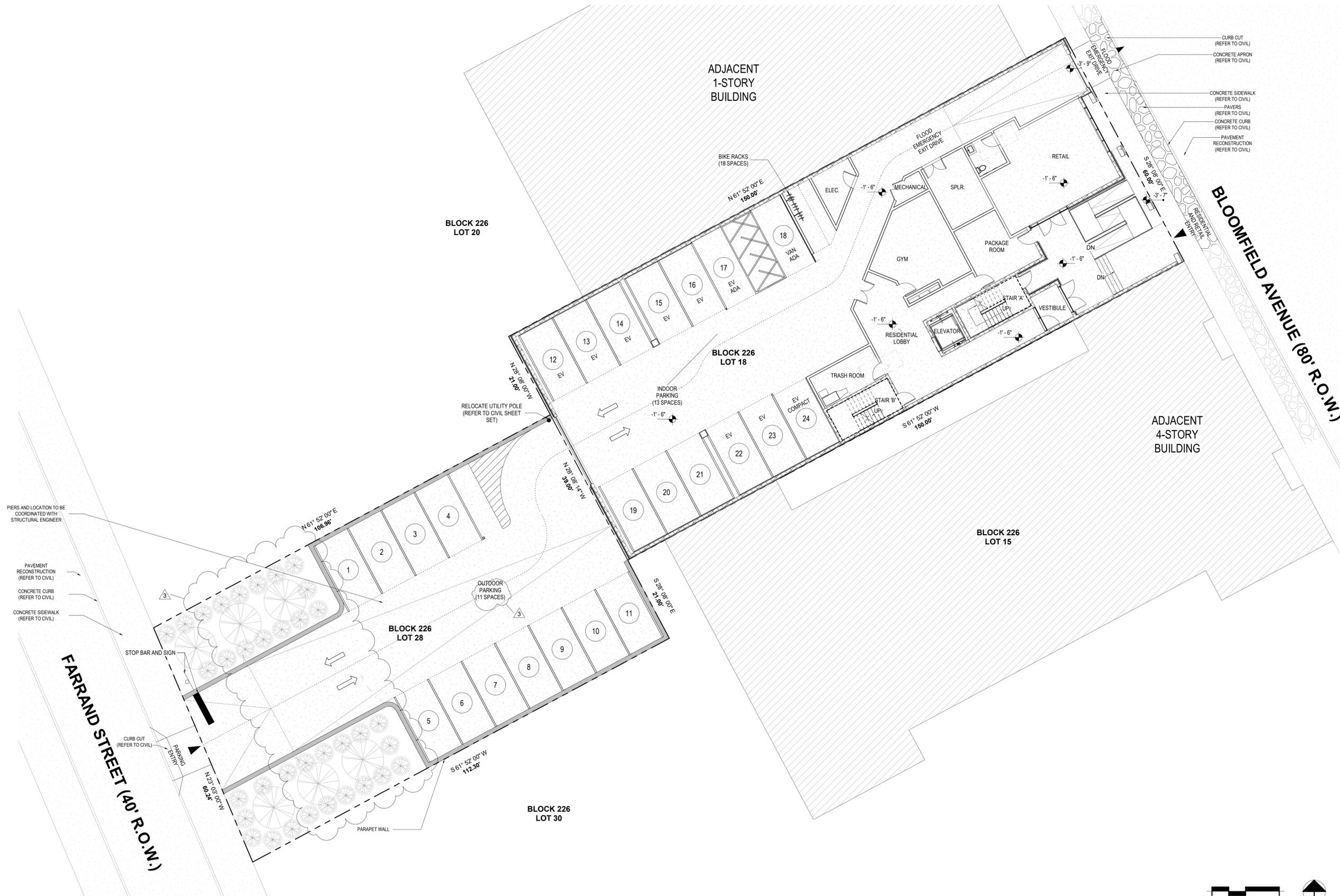
ZONING TABULATION CHART - LOT 18 (ZONE BCRD-II BLOOMFIELD CENTER REDEVELOPMENT PLAN - 2) - COMMERCIAL CORRIDOR AREA				
PERMITTED USE	ITEM	REQUIRED	PROPOSED	VARIANCE
		FOR COMMERCIAL CORRIDOR AREA (LOT 18), BUILDINGS CONTAINING A MIXTURE OF RESIDENTIAL AND COMMERCIAL USES EXCEPT THAT THE RESIDENTIAL SHALL BE RESTRICTED TO THE UPPER FLOORS IS PERMITTED	A MULTI-FAMILY RESIDENTIAL BUILDING WITH ALL RESIDENTIAL USES ON UPPER FLOORS AND RETAIL ON BLOOMFIELD AVENUE	NO
LOT SIZE		NO STANDARD	9,000 SF	NO
LOT WIDTH		60'-0"	60'-0"	NO
LOT DEPTH		NO STANDARD	150'-0"	NO
FRONT YARD SETBACK		MIN. 0'-0" TO MAX. 5'-0"	0'-0"	NO
SIDE YARD SETBACK		NO STANDARD	0'-0"	NO
REAR YARD SETBACK		NO STANDARD	0'-0"	NO
BUILDING HEIGHT		MIN. 4 STORIES OR 48'-0" TO MAX. 6 STORIES OR 88'-0"	5 STORIES AND 57'-6"	NO
SKY EXPOSURE PLANE		NONE	1:5	NO
BUILDING ENVELOPE REQUIREMENTS		ONE 4'-6" BUILDING STEP BACK BETWEEN THE 4 AND 6 STORIES ON BLOOMFIELD AVENUE	ONE 4'-6" BUILDING STEP BACK BETWEEN THE 4 AND 5 STORIES ON BLOOMFIELD AVENUE	NO
MIN. FLOOR TO CEILING HEIGHT - RESIDENTIAL		NO STANDARD	9'-6"	NO
MAX. FLOOR TO FLOOR HEIGHT - RESIDENTIAL		NO STANDARD	10'-6"	NO
LOT COVERAGE		NO STANDARD	100%	NO
BUILDING COVERAGE		NO STANDARD	91%	NO
AUTOMOBILE PARKING SPACES		MIN. 1.4 PER RESIDENTIAL UNIT AND 2.7 PER 1000 SF RETAIL/COMMERCIAL (TOTAL 36 SPACES NEEDED)	13 SPACES	YES
CURB CUT		NO STANDARD	10'-0" WIDE	NO
BIKE PARKING		NO STANDARD	18 SPACES	NO

UNIT TYPE AND AREA SCHEDULE		
UNIT N.	UNIT TYPE	AREA
SECOND FLOOR		
UNIT 201	2 BEDROOM	1072 SF
UNIT 202	2 BEDROOM	1136 SF
UNIT 203	2 BEDROOM	1136 SF
UNIT 204	2 BEDROOM	1042 SF
UNIT 205	2 BEDROOM	1089 SF
UNIT 206	2 BEDROOM	1091 SF
6		6566 SF
THIRD FLOOR		
UNIT 301	2 BEDROOM	1072 SF
UNIT 302	2 BEDROOM	1136 SF
UNIT 303	2 BEDROOM	1136 SF
UNIT 304	2 BEDROOM	1042 SF
UNIT 305	2 BEDROOM	1089 SF
UNIT 306	2 BEDROOM	1091 SF
6		6566 SF
FOURTH FLOOR		
UNIT 401	2 BEDROOM	1072 SF
UNIT 402	2 BEDROOM	1136 SF
UNIT 403	2 BEDROOM	1136 SF
UNIT 404	2 BEDROOM	920 SF
UNIT 405	2 BEDROOM	971 SF
UNIT 406	2 BEDROOM	1091 SF
6		6326 SF
FIFTH FLOOR		
UNIT 501	2 BEDROOM	1072 SF
UNIT 502	2 BEDROOM	1136 SF
UNIT 503	2 BEDROOM	1136 SF
UNIT 504	2 BEDROOM	920 SF
UNIT 505	2 BEDROOM	971 SF
UNIT 506	2 BEDROOM	1091 SF
6		6326 SF
Grand total: 24		25785 SF

GROSS BUILDING AREA SCHEDULE	
DEPARTMENT	AREA
GROUND FLOOR 132.75'	
AMENITY	364 SF
CIRCULATION	1137 SF
PARKING	5227 SF
RETAIL	713 SF
SERVICE	394 SF
UTILITY	334 SF
	8169 SF
SECOND FLOOR	
CIRCULATION	1140 SF
RESIDENTIAL	6566 SF
SERVICE	124 SF
UTILITY	100 SF
	7930 SF
THIRD FLOOR	
CIRCULATION	1140 SF
RESIDENTIAL	6566 SF
SERVICE	124 SF
UTILITY	100 SF
	7930 SF
FOURTH FLOOR	
CIRCULATION	1140 SF
RESIDENTIAL	6326 SF
SERVICE	124 SF
UTILITY	100 SF
	7690 SF
FIFTH FLOOR	
CIRCULATION	1140 SF
RESIDENTIAL	6326 SF
SERVICE	124 SF
UTILITY	100 SF
	7690 SF
ROOF DECK	
CIRCULATION	579 SF
UTILITY	71 SF
	650 SF
Grand total	40058 SF



3 ZONING DIAGRAM
 1" = 400'-0"



DESIGN:



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 Author

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SHEET TITLE:
 PROPOSED SITE PLAN

SHEET NO.: PAGE NO.:

PB-050 rev:3

3 SITE PLAN
 3/32" = 1'-0"



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RECESSED DOWNLIGHT L.01
4.5 INCH TRIMLESS RECESSED LIGHT
MANUFACTURER: BEGA

WALL SCONCE L.02
MIMIK 20 A60W EM3P - BLACK
MANUFACTURER: MIMIK

INDOOR PARKING GARAGE L.03
VCPG LED V4 P4 40K 70CRI T5M MVOLT SRM SNAXD
MANUFACTURER: LITHONIA LIGHTING

OUTDOOR PARKING GARAGE L.04
FIN POLE LED BOLLARD LIGHT
MANUFACTURER: CARIBONI GROUP

FARRAND STREET (40' R.O.W.)



1 SITE LIGHTING PLAN
3/32" = 1'-0"



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SHEET TITLE:
SITE LIGHTING PLAN

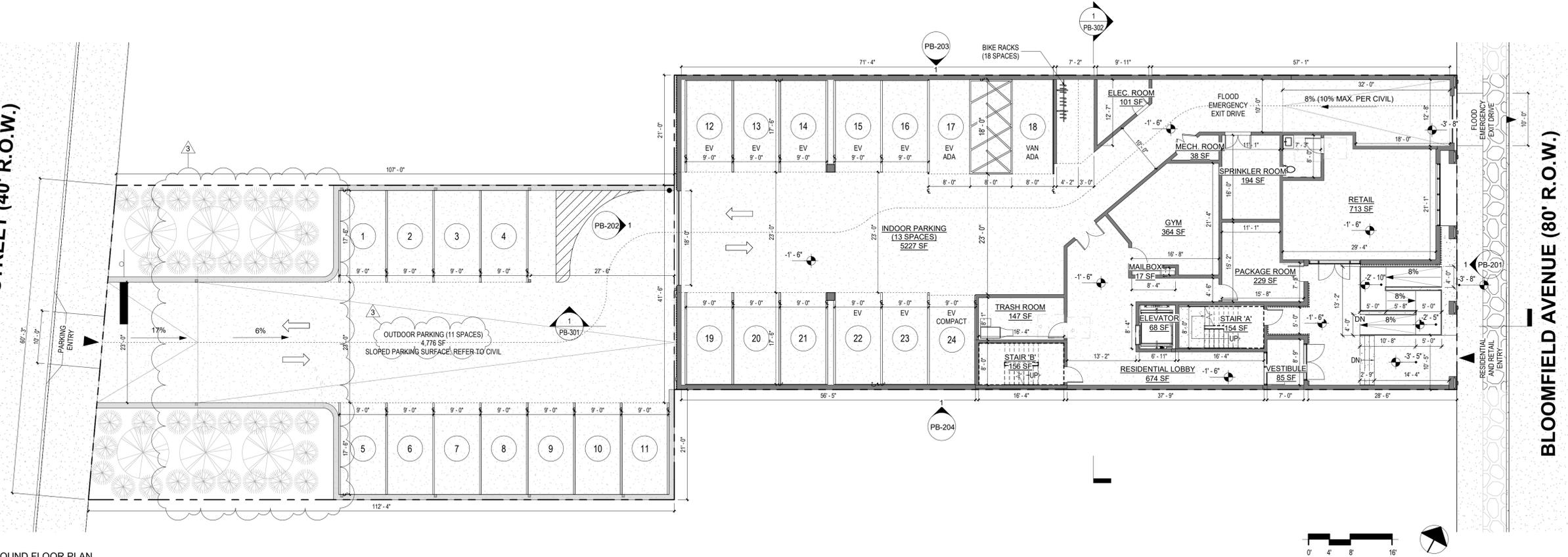
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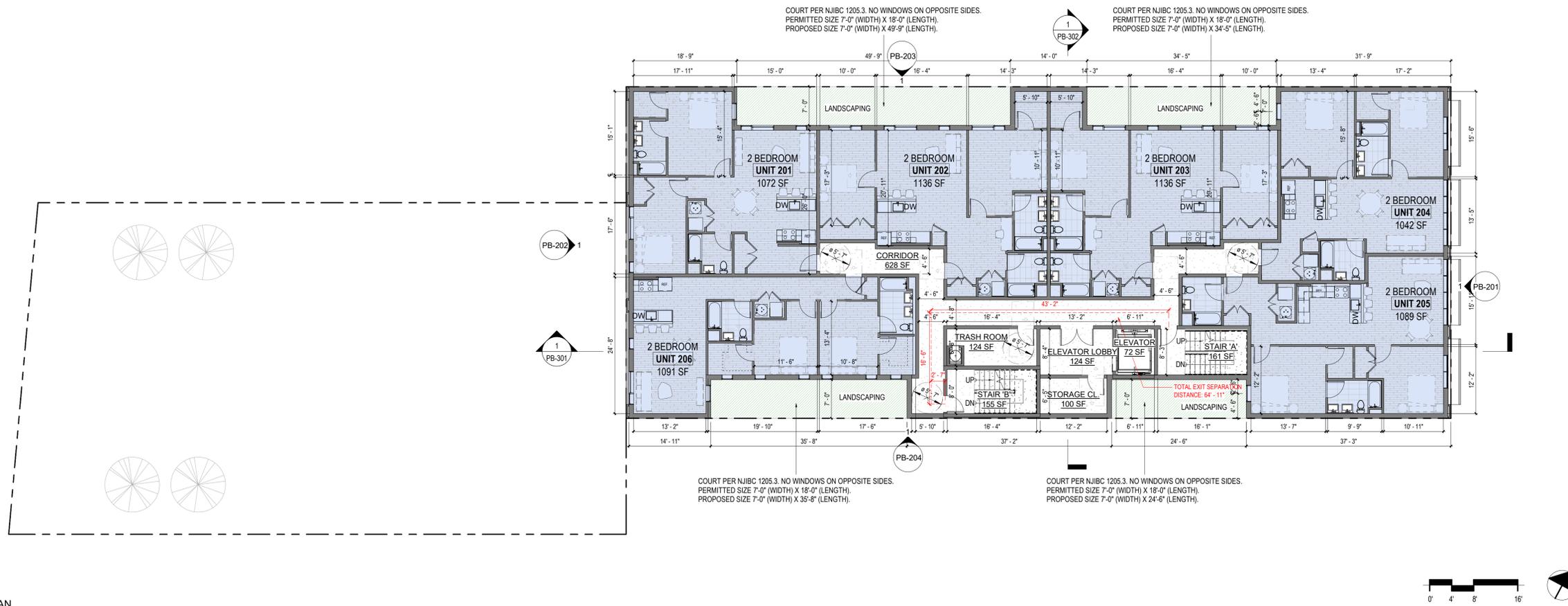
FARRAND STREET (40' R.O.W.)

BLOOMFIELD AVENUE (80' R.O.W.)

1 GROUND FLOOR PLAN
3/32" = 1'-0"



2 SECOND FLOOR PLAN
3/32" = 1'-0"



DESIGN:

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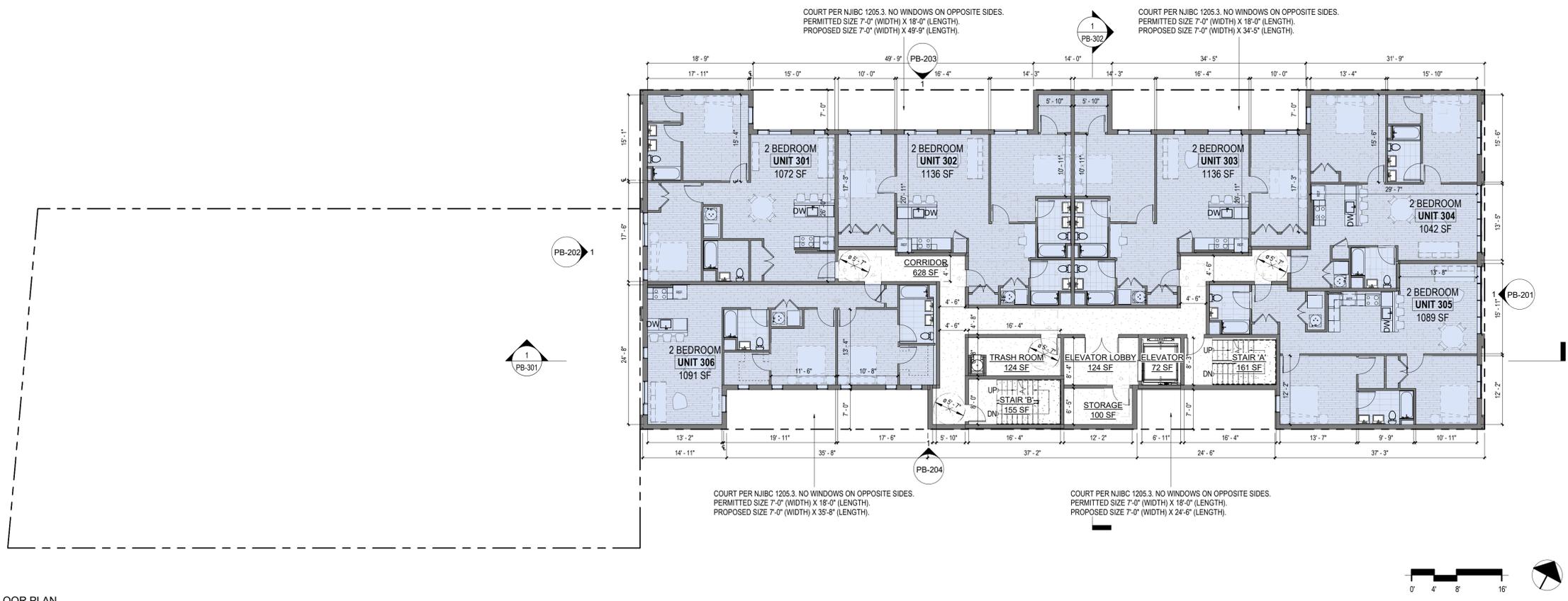
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SHEET TITLE:
GROUND AND SECOND FLOOR PLANS

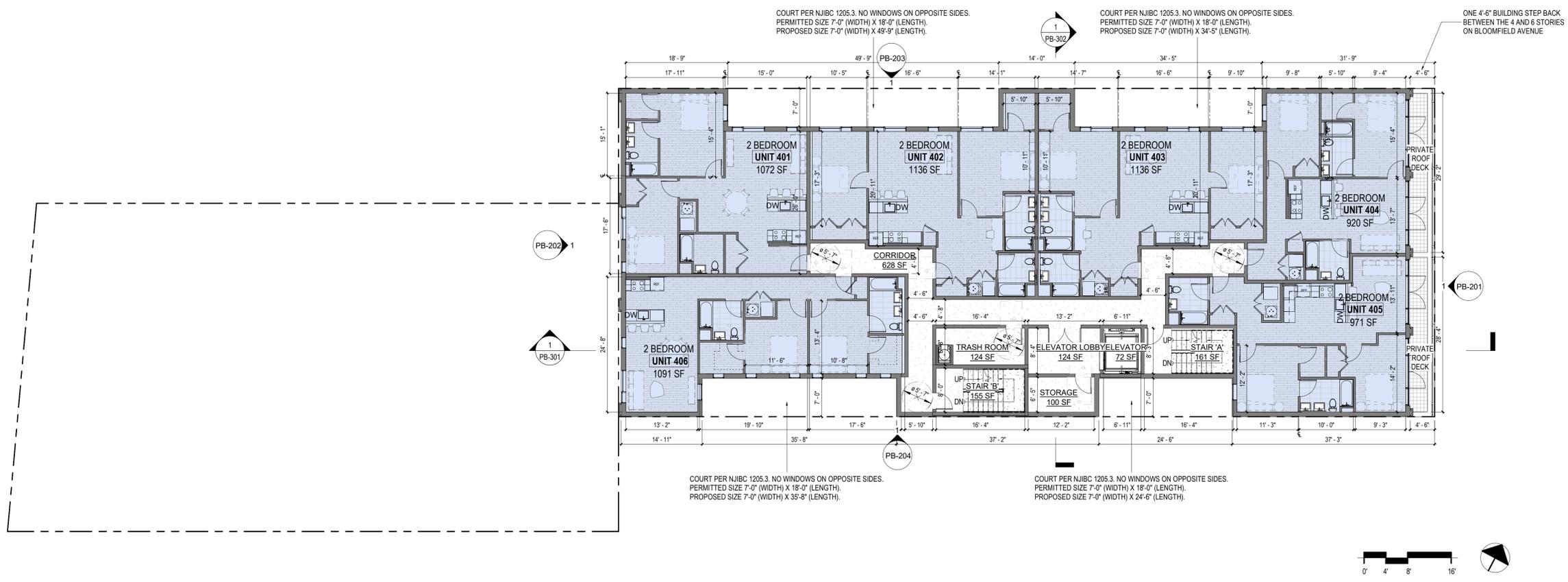
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1 THIRD FLOOR PLAN
3/32" = 1'-0"



2 FOURTH FLOOR PLAN
3/32" = 1'-0"



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THIRD AND FOURTH FLOOR PLANS

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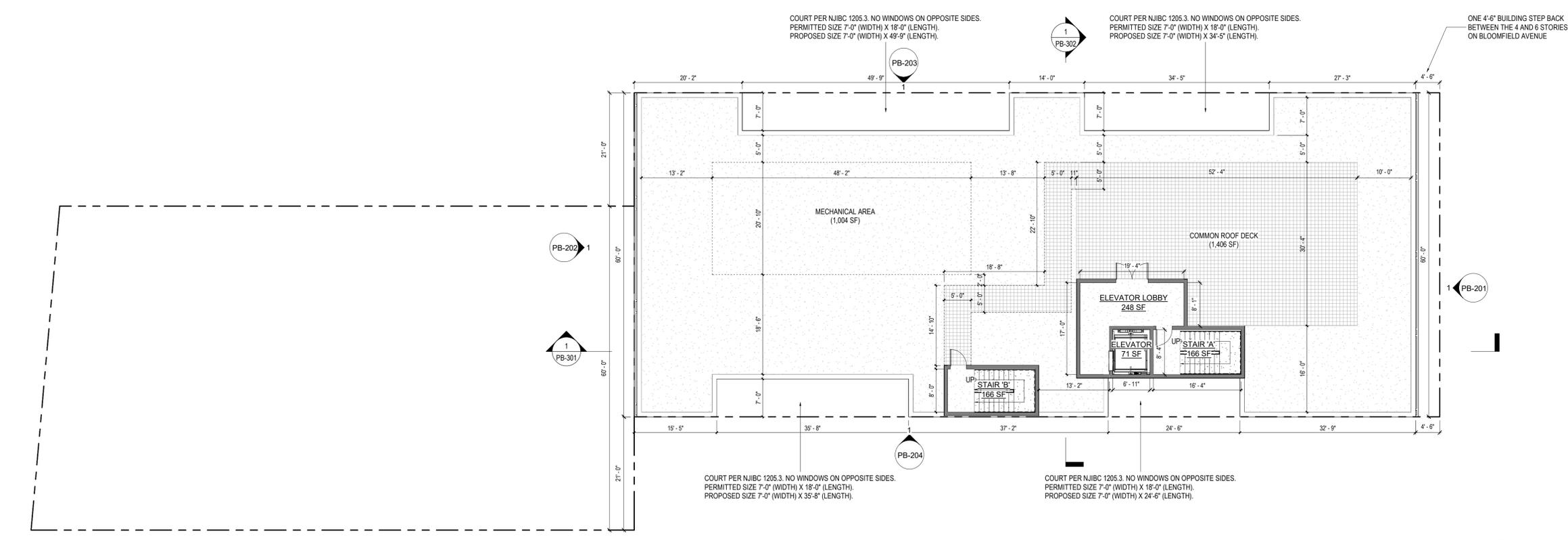
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1 ROOF DECK PLAN
 3/32" = 1'-0"

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SHEET TITLE:
 ROOF PLAN

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SHEET TITLE:
 BLOOMFIELD AVENUE
 ELEVATION

SHEET NO.: PAGE NO.:

PB-201 rev:3

MATERIAL LEGEND

METAL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	M.01 MANUFACTURER: ALUCOBOND METAL PANEL COLOR: DARK GREY
	M.02 MANUFACTURER: KNOTWOOD METAL BATTEN COLOR: ORANGE

BRICK	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	B.01 MANUFACTURER: GLEN GERY FACE BRICK COLOR: 900 RED MATT

GLASS	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	CW.01 KAWNEER 1600 WALL SYSTEM

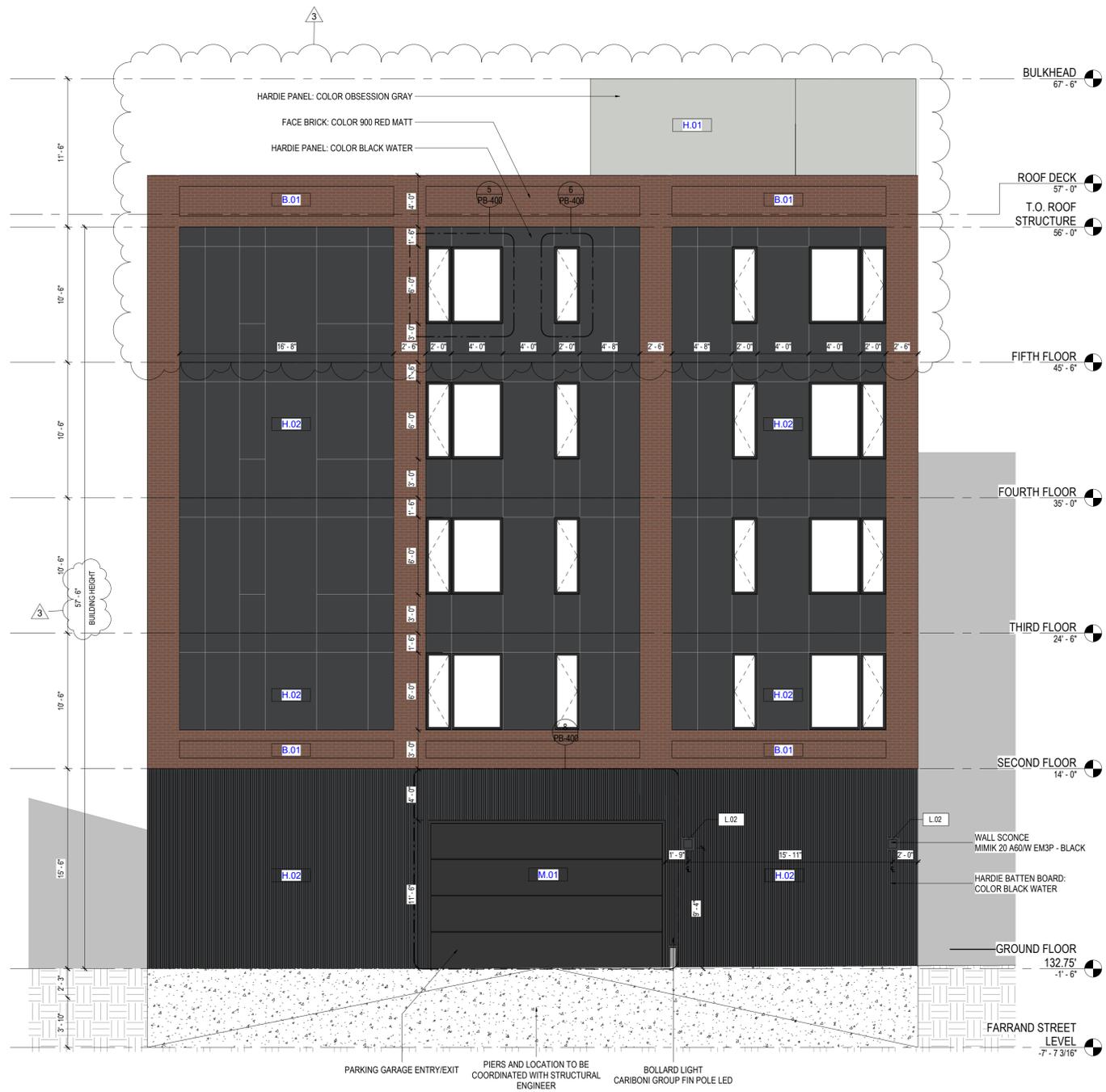
HARDIE PANEL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	H.01 MANUFACTURER: JAMES HARDIE HARDIE BOARD COLOR: OBSESSION GRAY
	H.02 MANUFACTURER: JAMES HARDIE HARDIE BATTEN BOARD COLOR: BLACK WATER

WINDOW	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	W.01 MANUFACTURER: MARVIN FIBERGLASS CLAD WOOD DOUBLE HUNG WINDOW COLOR: DARK GREY
	W.02 MANUFACTURER: MARVIN ALUMINUM CASEMENT WINDOW COLOR: DARK GREY
	W.03 MANUFACTURER: MARVIN ALUMINUM FIXED WINDOW COLOR: DARK GREY



1 BLOOMFIELD AVENUE ELEVATION
 3/16" = 1'-0"

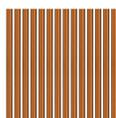
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1 FARRAND STREET ELEVATION
3/16" = 1'-0"

MATERIAL LEGEND

METAL

MATERIAL SAMPLE	DESCRIPTION/ FINISH
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	M.02 MANUFACTURER: KNOTWOOD METAL BATTEN COLOR: ORANGE

BRICK

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	B.01 MANUFACTURER: GLEN GERY FACE BRICK COLOR: 900 RED MATT

GLASS

MATERIAL SAMPLE	DESCRIPTION/ FINISH
	CW.01 KAWNEER 1600 WALL SYSTEM

HARDIE PANEL

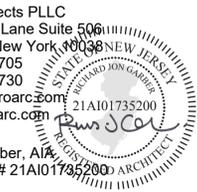
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BLOCK:226 LOT:18&28

CLIENT:
FRANKLIN DEVELOPMENT GROUP, LLC.
662 BLOOMFIELD AVENUE
BLOOMFIELD, NJ 07003

CONSULTANTS:
CIVIL ENGINEER
PETRY ENGINEERING, LLC.
155 PASSAIC AVENUE
FAIRFIELD, NJ 07004

DEVELOPMENT APPLICATION: 01 JUNE 2025

PERMIT SUBMISSION:

PROGRESS:

REVISIONS		
NO.	DATE	DESCRIPTION
2	10-15-24	PER DEP
3	05-29-25	OWNER REQUESTED CHANGES

NOT FOR CONSTRUCTION

PROJECT NUMBER: DRAWN BY:
Author

DESIGNED BY: CHECKED BY:

SHEET TITLE:
FARRAND STREET ELEVATION

SHEET NO.: PAGE NO.:

PB-202 rev:3



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PROJECT:
 NEW CONSTRUCTION
 MULTI-FAMILY RESIDENTIAL
 688 BLOOMFIELD AVENUE
 BLOOMFIELD, NJ 07003
 BLOCK:226 LOT:18828

CLIENT:
 FRANKLIN DEVELOPMENT GROUP, LLC.
 662 BLOOMFIELD AVENUE
 BLOOMFIELD, NJ 07003

CONSULTANTS:
 CIVIL ENGINEER
 PETRY ENGINEERING, LLC.
 155 PASSAIC AVENUE
 FAIRFIELD, NJ 07004

DEVELOPMENT APPLICATION: 01 JUNE 2025

PERMIT SUBMISSION:

PROGRESS:

REVISIONS		
NO.	DATE	DESCRIPTION
2	10-15-24	PER DEP
3	05-29-25	OWNER REQUESTED CHANGES

NOT FOR CONSTRUCTION

PROJECT NUMBER: DRAWN BY:
 Author

DESIGNED BY: CHECKED BY:

SHEET TITLE:
 NORTHWEST SIDE ELEVATION

SHEET NO.: PAGE NO.:

PB-203 rev:3

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1 NORTHWEST SIDE ELEVATION
 3/16" = 1'-0"

MATERIAL LEGEND

METAL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	M.01 MANUFACTURER: ALUCOBOND METAL PANEL COLOR: DARK GREY
	M.02 MANUFACTURER: KNOTWOOD METAL BATTEN COLOR: ORANGE

BRICK	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	B.01 MANUFACTURER: GLEN GERY FACE BRICK COLOR: 900 RED MATT
GLASS	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	CW.01 KAWNEER 1600 WALL SYSTEM

HARDIE BOARD	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	H.01 MANUFACTURER: JAMES HARDIE HARDIE BOARD COLOR: OBSESSION GRAY
	H.02 MANUFACTURER: JAMES HARDIE HARDIE BATTEN BOARD COLOR: BLACK WATER

WINDOW	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	W.01 MANUFACTURER: MARVIN FIBERGLASS CLAD WOOD DOUBLE HUNG WINDOW COLOR: DARK GREY
	W.02 MANUFACTURER: MARVIN ALUMINUM CASEMENT WINDOW COLOR: DARK GREY

WINDOW	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	W.03 MANUFACTURER: MARVIN ALUMINUM FIXED WINDOW COLOR: DARK GREY



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PROJECT:
 NEW CONSTRUCTION
 MULTI-FAMILY RESIDENTIAL
 668 BLOOMFIELD AVENUE
 BLOOMFIELD, NJ 07003
 BLOCK:226 LOT:18&28

CLIENT:
 FRANKLIN DEVELOPMENT GROUP, LLC.
 662 BLOOMFIELD AVENUE
 BLOOMFIELD, NJ 07003

CONSULTANTS:
 CIVIL ENGINEER
 PETRY ENGINEERING, LLC.
 155 PASSAIC AVENUE
 FAIRFIELD, NJ 07004

DEVELOPMENT APPLICATION: 01 JUNE 2025

PERMIT SUBMISSION:

PROGRESS:

REVISIONS

NO.	DATE	DESCRIPTION
2	10-15-24	PER DEP
3	05-29-25	OWNER REQUESTED CHANGES

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PROJECT NUMBER: DRAWN BY:
 Author

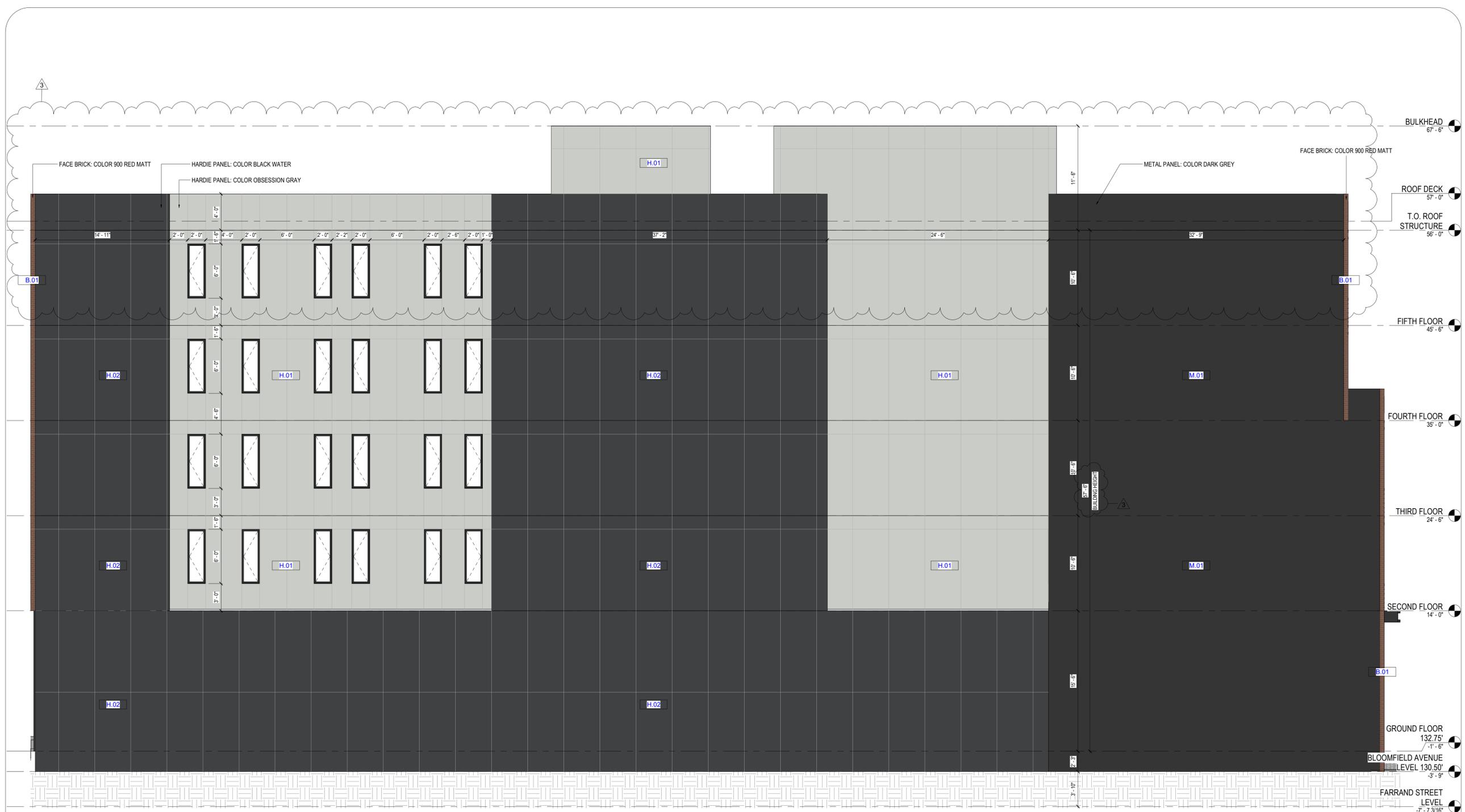
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SHEET TITLE:
 SOUTHEAST SIDE ELEVATION

SHEET NO.: PAGE NO.:

PB-204 rev:3

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1 SOUTHEAST SIDE ELEVATION
 3/16" = 1'-0"

MATERIAL LEGEND

METAL	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	M.01 MANUFACTURER: ALUCOBOND METAL PANEL COLOR: DARK GREY
	M.02 MANUFACTURER: KNOTWOOD METAL BATTEN COLOR: ORANGE

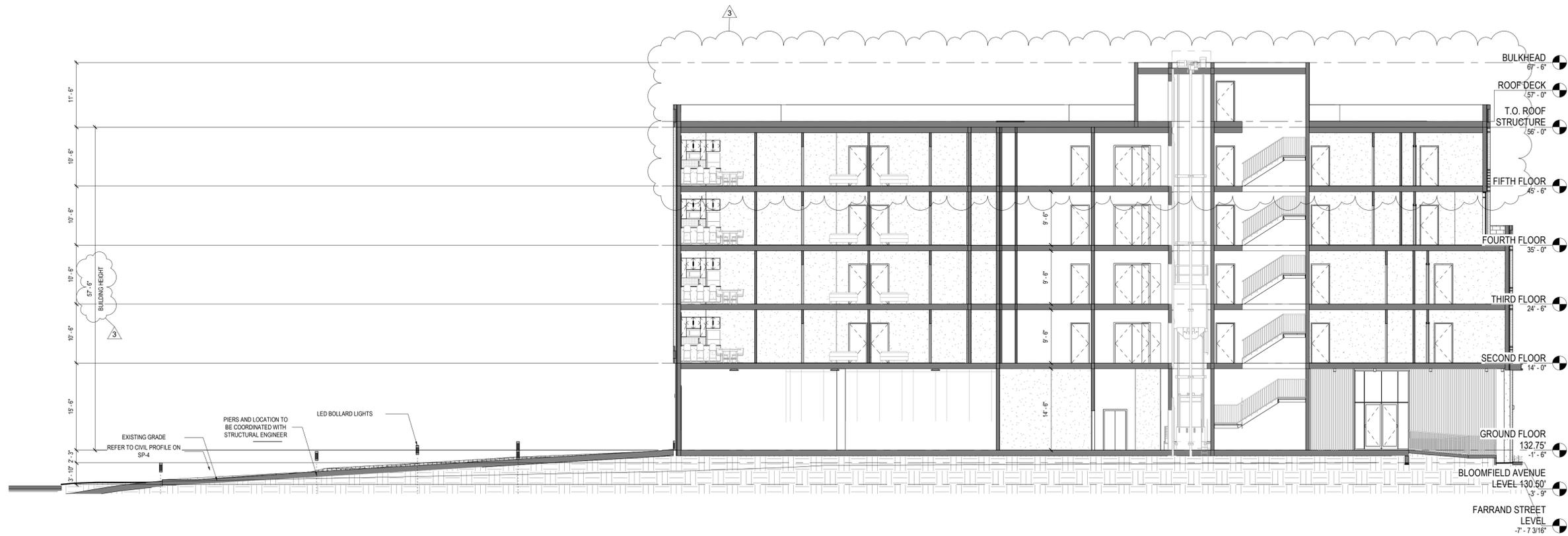
BRICK	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	B.01 MANUFACTURER: GLEN GERY FACE BRICK COLOR: 900 RED MATT

GLASS	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	CW.01 KAWNEER 1600 WALL SYSTEM

HARDIE BOARD	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	H.01 MANUFACTURER: JAMES HARDIE HARDIE BOARD COLOR: OBSESSION GRAY
	H.02 MANUFACTURER: JAMES HARDIE HARDIE BATTEN BOARD COLOR: BLACK WATER

WINDOW	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	W.01 MANUFACTURER: MARVIN FIBERGLASS CLAD WOOD DOUBLE HUNG WINDOW COLOR: DARK GREY
	W.02 MANUFACTURER: MARVIN ALUMINUM CASEMENT WINDOW COLOR: DARK GREY

WINDOW	
MATERIAL SAMPLE	DESCRIPTION/ FINISH
	W.03 MANUFACTURER: MARVIN ALUMINUM FIXED WINDOW COLOR: DARK GREY



1 LONGITUDINAL SECTION
1" = 10'-0"



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PROJECT:
NEW CONSTRUCTION
MULTI-FAMILY RESIDENTIAL
668 BLOOMFIELD AVENUE
BLOOMFIELD, NJ 07003
BLOCK:226 LOT:18&28

CLIENT:
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CONSULTANTS:
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DEVELOPMENT APPLICATION: 01 JUNE 2025

PERMIT SUBMISSION:

PROGRESS:

REVISIONS		
NO.	DATE	DESCRIPTION
2	10-15-24	PER DEP
3	05-29-25	OWNER REQUESTED CHANGES

NOT FOR CONSTRUCTION

PROJECT NUMBER: DRAWN BY:
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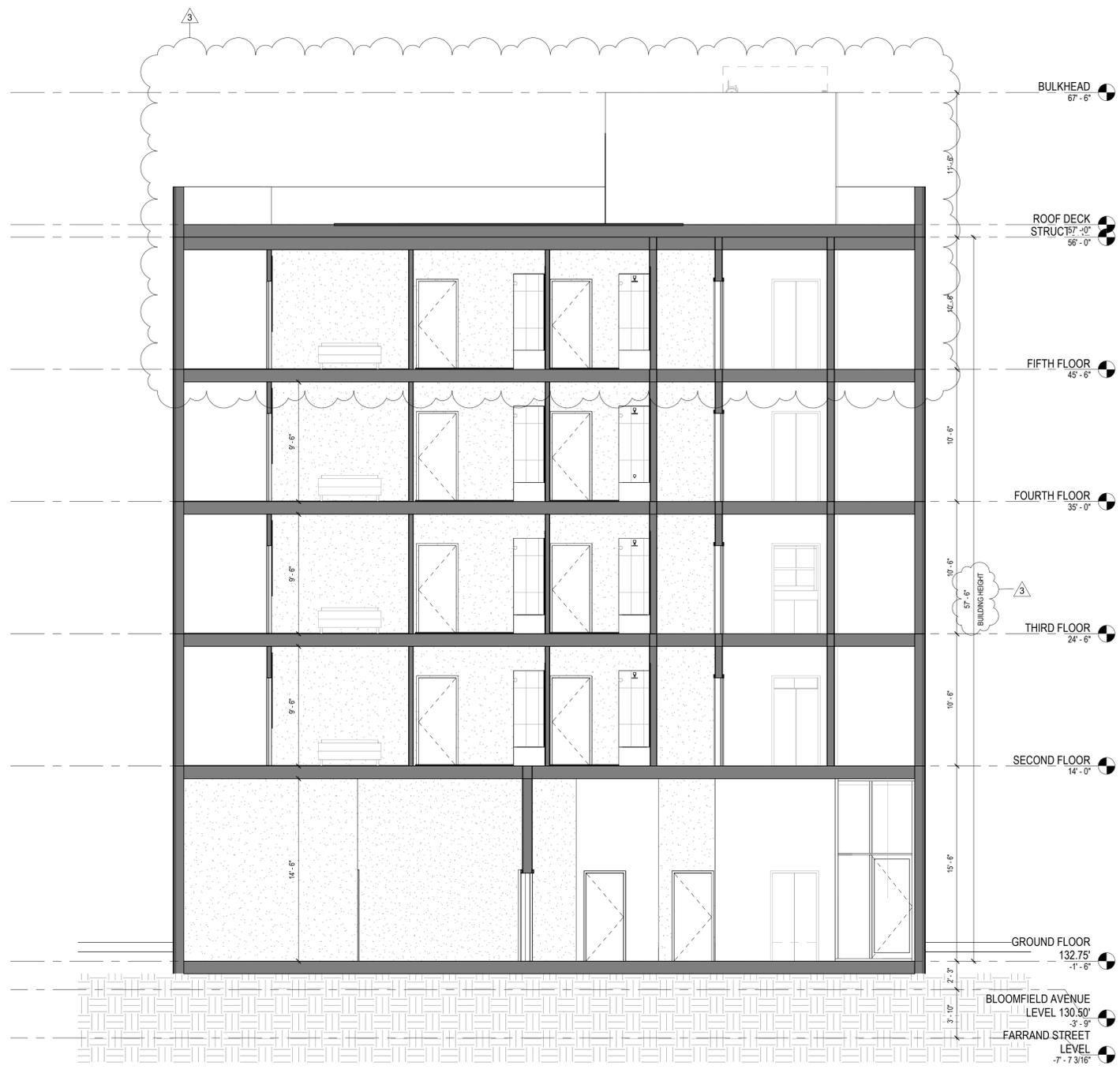
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SHEET TITLE:
LONGITUDINAL SECTION

SHEET NO.: PAGE NO.:

PB-301 rev:3

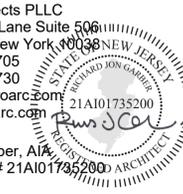
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1 TRANSVERSE SECTION
3/16" = 1'-0"



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PROJECT:
NEW CONSTRUCTION
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DEVELOPMENT APPLICATION: 01 JUNE 2025

PERMIT SUBMISSION:

PROGRESS:

REVISIONS		
NO.	DATE	DESCRIPTION
2	10-15-24	PER DEP
3	05-29-25	OWNER REQUESTED CHANGES

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PROJECT NUMBER: DRAWN BY:
Author

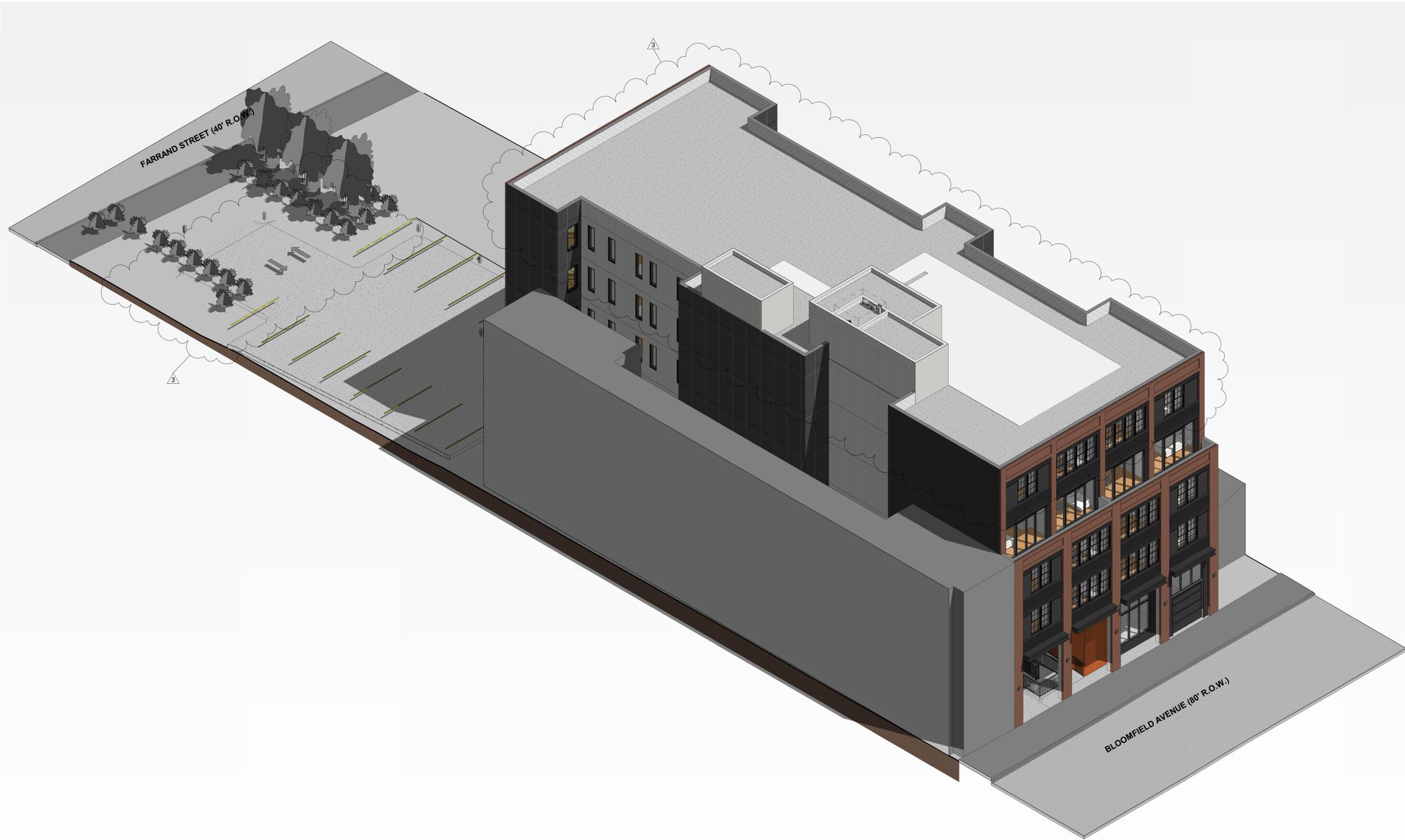
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TRANSVERSE SECTION

SHEET NO.: PAGE NO.:

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1 AXON VIEW



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DEVELOPMENT APPLICATION: 01 JUNE 2025

PERMIT SUBMISSION:

PROGRESS:

REVISIONS		
NO.	DATE	DESCRIPTION
1	02-12-24	OWNER REQUESTED CHANGES
3	05-29-25	OWNER REQUESTED CHANGES

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PROJECT NUMBER: DRAWN BY:
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SHEET TITLE:
 AXON VIEW

SHEET NO.: PAGE NO.:

PB-900 rev:3



1 VIEW FROM BLOOMFIELD AVE.



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DEVELOPMENT APPLICATION: 01 JUNE 2025

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PROGRESS:

REVISIONS		
NO.	DATE	DESCRIPTION
3	05-29-25	OWNER REQUESTED CHANGES

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 Author

DESIGNED BY: CHECKED BY:

SHEET TITLE:
 RENDER

SHEET NO.: PAGE NO.:
 PB-901 rev:3