

Zayn and Aburo Family Trust
c/o Rakiat Gbadamosi
3 Cullen Drive, West Orange, NJ 07052

3/27/25
Bloomfield Zoning Board of Adjustment
Township of Bloomfield
1 Municipal Plaza, Bloomfield, NJ 07003

Re: Variance Application for 33 Race Street, Bloomfield, NJ Block 313, Lot 23

Dear Members of the Zoning Board,

I am submitting this application to respectfully request variances for the property located at 33 Race Street, Bloomfield, NJ, situated in the M-1 industrial district. The proposed project involves the renovation of the existing attic to create a livable bedroom with an attached bathroom, as well as the addition of dormers to expand the attic space. Additionally, I am seeking approval for the construction of a driveway anywhere in the front of the property, to enhance accessibility and provide off-street parking. The reason for this request is that the area is very busy during business hours, and adding a driveway will reduce congestion by eliminating one more car searching for street parking. This will be to everyone's benefit by easing parking demand and improving overall traffic flow in the neighborhood.

The project promotes the general welfare because the proposed improvements to the site would make the use more compatible with surrounding uses. Furthermore, the variance would benefit the community and advance the purposes of the Municipal Land Use Law by enhancing the property's functionality and appearance. The proposed improvements will provide additional living space to the property and increase the likelihood that the property will remain occupied and viable, rather than becoming a detriment to the neighborhood. Additionally, the proposed addition will not increase the footprint of the building and will not exacerbate any of the existing nonconforming bulk conditions, nor increase the intensity of the use of the lot. The requested variances would not impose a substantial detriment to the public good or substantially impair the intent and purpose of the municipal master plan or zoning ordinance.

I have taken into consideration similar applications approved in the past, including the resolution for 22 West Street, and aim to align this application accordingly. Enclosed, please find the completed variance application form, site plans, architectural drawings, and any additional supporting documents. I appreciate your time and consideration and look forward to the opportunity to present my application before the Board.

Thank you for your attention. Please feel free to contact me should you require any further information or clarification.

Sincerely,



Zayn and Aburo Family Trust
c/o Rakiat Gbadamosi
732-277-8846 (cell)
rakiatg@yahoo.com

Standard Development Application

Township of Bloomfield
LAND DEVELOPMENT
315 Attachment 6

Below please provide the information requested. Complete only the boxes/spaces that apply to your project. If a box/space on this application does not apply, please leave it blank.

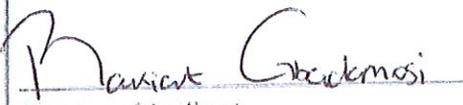
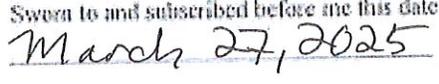
Township of Bloomfield Standard Development Application				
TO BE COMPLETED BY TOWNSHIP STAFF ONLY				
Date Filed:		Date Deemed Complete:		Application No:
GENERAL INSTRUCTIONS: To the extent possible, applicant shall complete every question. When completed, this application shall be submitted to the Planning Board Secretary (if an application to the Planning Board) or the Zoning Officer (if an application to the Board of Adjustment). The proper application and escrow fees must accompany the application. Do not advertise for a public hearing until you are advised to do so by the Board.				
Indicate to which Board application is being made:				
<input type="checkbox"/> Planning Board		<input checked="" type="checkbox"/> Zoning Board of Adjustment		
Indicate all approvals and variances being sought:				
<input type="checkbox"/> Informal Review	<input type="checkbox"/> Prelim. Major Site Plan	<input type="checkbox"/> Interpretation		
<input checked="" type="checkbox"/> Bulk Variance(s)	<input type="checkbox"/> Final Major Site Plan	<input type="checkbox"/> Fill or Soil Removal Permit		
<input checked="" type="checkbox"/> Use Variance	<input type="checkbox"/> Prelim. Major Subdivision	<input type="checkbox"/> Waiver of Site Plan Requirements		
<input type="checkbox"/> Conditional Use Variance	<input type="checkbox"/> Final Major Subdivision			
<input type="checkbox"/> Minor Site Plan	<input type="checkbox"/> Appeals from Decision of Admin. Officer			
<input type="checkbox"/> Minor Subdivision	(attach the denial/decision)			
1. APPLICANT				
Name Zayn and Aburo Family Trust c/o Rakiat Gbadamosi			Address 3 Cullen Drive	
City West Orange	State NJ	Zip 07052	Telephone 732-277-8846	Fax
2. PROPERTY OWNER (if other than applicant)				
Name Same			Address	
City	State	Zip	Telephone	Fax
3. SUBJECT PROPERTY (attach additional sheets if necessary)				
Street Address 33 Race Street, Bloomfield, NJ 07003			Block(s) and Lot(s) Numbers Block 313, Lot 23	
Site Acreage and Square Footage 1,653 SqFt.		Zone District(s) (M-1) Industrial		Tax Sheet Nos. 13

Please print your email address rakiatg@yahoo.com

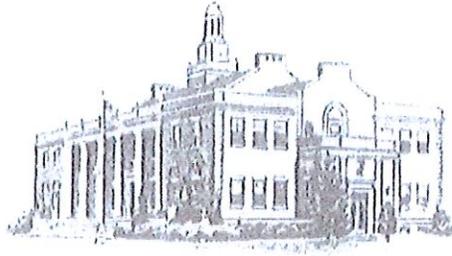
BLOOMFIELD CODE

Present Use - how is the area currently being used? Residential				
Proposed Development Name and Nature of Use Change for residential use				
Number of New Buildings 0	Square Feet of New Building(s) N/A	Height 32.5 ft.	% of Lot to be Covered by Buildings N/A	
% of Lot to be Covered by Pavement N/A	Number of Parking Spaces and Dimensions N/A		Dimensions of Loading Area(s) N/A	
Exterior Construction Material/Design Wood framing, vinyl siding, roof, shingles				
Total Cost of Building and Site Improvements \$10,000	Number of Lots Before Subdivision N/A	Number of Lots After Subdivision N/A	Are Any New Streets or Utility Extensions Proposed? No	
Number of Existing Trees, Two-Inch Caliper or Greater, to be Removed No trees removed	Are Any Structures to be Removed? No		Number of Proposed Signs and Dimensions N/A	
Is Soil Removal or Fill Proposed? Specify Total in Cubic Yards. No soil removal		Is the Property Within 200 feet of an Adjacent Municipality? If so, which. No		
4. Are there any existing or proposed deed restrictions or covenants? Please detail. No				
5. HISTORY OF PAST APPROVALS <input type="checkbox"/> Check here if none				
	APPROVED	DENIED	DATE	
Subdivision				
Site Plan				
Variance(s)				
Building Permit				
6. APPLICANT'S ATTORNEY (if applicable)				
Name			Address	
City	State	Zip	Telephone	Fax

LAND DEVELOPMENT

7. NAMES OF PLAN PREPARERS				
Engineer's Name		Address		
City	State	Zip	Telephone	License #
Surveyor's Name		Address		
City	State	Zip	Telephone	License #
Landscape Architect or Architect's Name Frank D. Mileto A.I.A.		Address 14 Beaver Brook Drive		
City Long Valley, NJ 07853	State NJ	Zip 07853	Telephone 908-876-9400	License # 21AI00608400
8. FEES SUBMITTED				
Application Fees				
Variance Fees				
Excise Fees				
Total Fees				
CERTIFICATION				
I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual applicant or that I am an officer of the corporate applicant and that I am authorized to sign the application for the corporation or that I am a general partner of the partnership applicant. I hereby permit authorized Township officials to inspect my property in conjunction with this application.				
 Signature of Applicant		Sworn to and subscribed before me this date		
				
_____ Property Owner Authorizing Application if Other Than Applicant		 Notary Public		
		<div style="border: 1px solid black; padding: 5px; text-align: center;"> GRACE KAVADOY NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01KA6316607 Qualified in New York County Commission Expires DECEMBER 15, 2026 </div>		

1 Municipal Plaza
Room 105
Bloomfield, NJ 07003-3487



Telephone: (973) 680-4167
Fax: (973) 680-1652
www.bloomfieldtwpnj.com

**Township of Bloomfield
Community Development Department
Construction, Planning and Zoning Divisions**

February 4, 2025

LP handyman LLC
12 W 17th St. Apt 2
Prospect Park NJ 07508

Re: 33 Race St.
Zoning Permit: 25-0053

Dear Owner:

I have reviewed your permit for an addition, add a driveway and add 2 condensers. The condensers on the left side of the dwelling are not on your property as they are being placed on lot 22 which is owned by NJ Turnpike Authority.

Please note due to chapter 315:

315-34. Establishment of zones.

G. Nonconforming structures and uses.

- (1) Any nonconforming structure or use existing at the time of passage of this chapter, or which is made nonconforming by adoption of this chapter or any amendment thereto, may be continued upon the lot or in the structure so occupied and any such structure or use may be restored or repaired in the event of partial destruction thereof.
- (2) Any nonconforming use shall not be expanded, increased or enlarged. Any nonconforming use shall not be changed to any use other than a permitted use.
- (3) Any nonconforming structure may be expanded or enlarged, provided the nonconformity is not exacerbated.
- (4) A nonconforming use shall be deemed abandoned if there is intent to no longer operate the use. A nonconforming use that is abandoned shall not be reinstated.
- (5) Partial destruction of a nonconforming structure or a structure in which a nonconforming use operates shall be deemed to mean the need to rebuild less than 50% of the original floor area.
- (6) Nothing herein shall be interpreted to authorize the continuance of a use or a structure which was in violation of the Township zoning regulations at the time of adoption of this chapter, unless this chapter, or any amendment thereto, brings such use or structure into conformity.

315-35 Supplementary regulations.

A. General.

(1) No building shall be erected and no existing building shall be moved, altered, added to or enlarged, nor shall any land or building be designed, used or intended to be used for any purpose or in any manner other than as specified among the uses listed as permitted, accessory or conditional in the district in which such building or land is located and in conformance with Schedule A, Bulk and Setback Regulations.¹¹¹

[1] *Editor's Note: Schedule A is included as an attachment to this chapter.*

Zone	Lot Area	Lot Width (feet)	Front yard (feet)	Rear Yard (feet)	Side Yard	Accessory Building, Side, Rear Yards (feet)	Building/Lot Coverage/FAR	Height
M-1 Industrial	1 Acre	150	20* double when abutting residential uses	20* double when abutting residential use	10	10	65%/85%/None	60 feet

B. Yard regulations.

(6) Projections and encroachments. Required yards shall be free of buildings, structures or parts thereof, and no building or structure shall project into any front, side or rear yard required by this article, nor shall use be made of such yard, except as follows:

(e) Driveways providing access to permitted garages or parking areas and walkways; provided, however, that in residential zones, driveways used to provide access to private garages shall not be wider than 22 feet. Except for driveways and walkways as permitted herein, front yards shall remain pervious.

(i) Freestanding residential heating and cooling units, if located in the side yard and only if buffered from adjacent neighbors with evergreen plantings, enclosures or equally effective measures to help mitigate visual appearance, noise and vibration. A minimum setback of three feet shall be maintained for freestanding residential heating and cooling units located in side yards. Such structures shall not be located in the front yard.

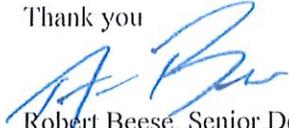
Therefore I cannot approve this application as it would require:

- Use variance: expansion of a non-conforming use
- Use variance: front yard parking.
- Bulk Variance: Addition does not meet setbacks
- Possible Bulk variance: Lot coverage
- No site plan on construction plans
- No Zoning chart with calculations on construction plans

- Survey provided not to scale unable to do lot coverage
- Condensers are not on property

Should you wish to seek variance relief, you may contact the Secretary to the Zoning Board, Ms. Amanda Waters, at the Municipal Building Room 203 or at 973-680-4012 or awaters@bloomfieldtwpnj.com.

Thank you



Robert Beese, Senior Deputy Zoning Officer
Township of Bloomfield
1 Municipal Plaza, Room 105
Bloomfield, New Jersey 07003
E-mail: rbeese@bloomfieldtwpnj.com

Room 105
Bloomfield, NJ 07003-3487



Telephone: (973) 680-4167
Fax: (973) 680-1652
www.bloomfieldtwpnj.com

**Township of Bloomfield
Community Development Department
Construction, Planning and Zoning Divisions**

March 3, 2025

LP handyman LLC
12 W 17th St. Apt 2
Prospect Park NJ 07508

Re: 33 Race St.
Zoning Permit: 25-0053

Dear Owner:

I have reviewed your permit for an addition.

Please note due to chapter 315:

315-34. Establishment of zones.

G. Nonconforming structures and uses.

(1) Any nonconforming structure or use existing at the time of passage of this chapter, or which is made nonconforming by adoption of this chapter or any amendment thereto, may be continued upon the lot or in the structure so occupied and any such structure or use may be restored or repaired in the event of partial destruction thereof.

(2) Any nonconforming use shall not be expanded, increased or enlarged. Any nonconforming use shall not be changed to any use other than a permitted use.

(3) Any nonconforming structure may be expanded or enlarged, provided the nonconformity is not exacerbated.

(4) A nonconforming use shall be deemed abandoned if there is intent to no longer operate the use. A nonconforming use that is abandoned shall not be reinstated.

(5) Partial destruction of a nonconforming structure or a structure in which a nonconforming use operates shall be deemed to mean the need to rebuild less than 50% of the original floor area.

(6) Nothing herein shall be interpreted to authorize the continuance of a use or a structure which was in violation of the Township zoning regulations at the time of adoption of this chapter, unless this chapter, or any amendment thereto, brings such use or structure into conformity.

315-35 Supplementary regulations.

A. General.

(1) No building shall be erected and no existing building shall be moved, altered, added to or enlarged, nor shall any land or building be designed, used or intended to be used for any purpose or in any manner other than as specified among the uses listed as permitted, accessory or conditional in the district in which such building or land is located and in conformance with Schedule A, Bulk and Setback Regulations.¹¹¹

[1] Editor's Note: Schedule A is included as an attachment to this chapter.

Zone	Lot Area	Lot Width (feet)	Front yard (feet)	Rear Yard (feet)	Side Yard	Accessory Building, Side, Rear Yards (feet)	Building/Lot Coverage/FAR	Height
M-1 Industrial	1 Acre	150	20* double when abutting residential uses	20* double when abutting residential use	10	10	65%/85%/None	60 feet

B. Yard regulations.

(6) Projections and encroachments. Required yards shall be free of buildings, structures or parts thereof, and no building or structure shall project into any front, side or rear yard required by this article, nor shall use be made of such yard, except as follows:

(c) Driveways providing access to permitted garages or parking areas and walkways; provided, however, that in residential zones, driveways used to provide access to private garages shall not be wider than 22 feet. Except for driveways and walkways as permitted herein, front yards shall remain pervious.

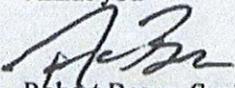
(i) Freestanding residential heating and cooling units, if located in the side yard and only if buffered from adjacent neighbors with evergreen plantings, enclosures or equally effective measures to help mitigate visual appearance, noise and vibration. A minimum setback of three feet shall be maintained for freestanding residential heating and cooling units located in side yards. Such structures shall not be located in the front yard.

Therefore I cannot approve this application as it would require:

- Use variance: expansion of a non-conforming use
- Use variance: front yard parking.
- Bulk Variance: Addition does not meet setbacks

Should you wish to seek variance relief, you may contact the Secretary to the Zoning Board, Ms. Amanda Waters, at the Municipal Building Room 203 or at 973-680-4012 or awaters@bloomfieldwpnj.com.

Thank you



Robert Beese, Senior Deputy Zoning Officer
 Township of Bloomfield
 1 Municipal Plaza, Room 105
 Bloomfield, New Jersey 07003
 E-mail: rbeese@bloomfieldwpnj.com

Owners Statement # 6 on the checklist

- a. Date of acquisition of property, and from whom.
- b. The number of existing and proposed dwelling units.
- c. State whether the applicant or owners own or are under contract to purchase any adjoining lands. Set forth lot and block number(s).
- d. State whether the application is or is not to be accompanied by a separate application for subdivision, site plan or conditional use approval.

a. I Zayn and Aburo Family Trust,
c/o Rakiat Gbadamosi purchased the property located at
33 Race Street, Bloomfield, NJ 07003
(Property address)
on 12/06/24 from Darlen Troutman, Individually and as Executrix for The
(Date) Estate of Freddie J. Troutman, Deceased and Diane Troutman, Individually
you purchased the property from)

b. There is/are 1 existing 1 proposed.
(how many?) (y?)

c. **Check one:**
I/We are under contract to purchase any adjoining lands. Include the Block and
Lot numbers. Block _____ Lot _____
I/We are **NOT** under contract to purchase any adjoining lands.

d. This application is accompanied by a separate application for subdivision.
This application is **NOT** accompanied by a separate application for subdivision.

Mariela Gbadamosi
Signature

3/27/25
Date

March 13, 2025
01:59 PM

BLOOMFIELD TOWNSHIP
Tax Account Detail Inquiry

Page No: 1

BLQ: 313. 23.
Owner Name: ZAYN AND ABURO FAMILY TRUST

Tax Year: 2024 to 2024
Property Location: 33 RACE STREET

Tax Year: 2024	Qtr 1	Qtr 2	Qtr 3	Qtr 4	Total
Original Billed:	1,960.80	1,960.80	2,096.40	2,122.80	8,140.80
Payments:	1,960.80	1,960.80	2,096.40	2,122.80	8,140.80
Balance:	0.00	0.00	0.00	0.00	0.00

Date	Qtr	Type	Code	Check No	Mthd	Reference	Batch Id	Principal	Interest	2024 Prin Balance
								8,140.80		8,140.80
		Original Billed								
06/05/24	1	Payment	SUT	66647	CK	95459	8 CHRISTIA	1,960.80	121.57	6,180.00
		INVESTA FUNDING CHRISTIANA								
06/05/24	2	Payment	SUT	66647	CK	95459	9 CHRISTIA	1,960.80	33.33	4,219.20
		INVESTA FUNDING CHRISTIANA								
12/04/24	3	Payment	SUT	69748	CK	98354	2 INVESSUT	2,096.40	129.98	2,122.80
		INVESTA CHRISTIANA								
12/04/24	4	Payment	SUT	69748	CK	98354	3 INVESSUT	2,122.80	36.09	0.00
		INVESTA CHRISTIANA								

Total Principal Balance for Tax Years in Range: 0.00

Block Lot Qual	Property Location Additional Lot Additional Lot	Property Class	Owner Address City, State	Zip Code
304 35	5 WOOD STREET	4A	VOGLINO PROPERTIES,LLC 300 PINES LAKE DRIVE EAST WAYNE, NJ	07470
305 2	26-32 RACE STREET SOLD W/3 OTHERS	4A	DCH INVESTMENTS INC. PO BOX 1148 MEDFORD, OR	97501
305 5.02	50 WEST STREET	4B	50 WEST ST. LLC C/O HARTZ MOUN. 500 PLAZA DRIVE 6TH FLOOR SECAUCUS, NJ	07096
305 44	22 RACE STREET	1	MEA PROPERTIES, L.L.C. 13 RACE STREET BLOOMFIELD, NJ	07003
305 45	24 RACE STREET	2	PEREYRA, JOSE ANDRES & MATA, ISAIRA 24 RACE STREET BLOOMFIELD, NJ	07003
313 22	37 RACE STREET	15C	NEW JERSEY TURNPIKE AUTHORITY PO BOX 5042, 581 MAIN ST. WOODBIDGE, NJ	070955042
313 24	31 RACE STREET	2	SCHERILLO, ANNA P.O.BOX 181 GLEN RIDGE, NJ	07028
313 25	29 RACE STREET	2	RICHEY, JOHN T & NORA A 29 RACE STREET BLOOMFIELD, NJ	07003
313 32	13-27 RACE STREET	4A	MEA PROPERTIES,L.L.C. 13-27 RACE STREET BLOOMFIELD, NJ	07003

TOWNSHIP OF
BLOOMFIELD PUBLIC
UTILITY LIST

Township of Bloomfield
Municipal Clerk
1 Municipal Plaza
Bloomfield, NJ 07003

PSEG
Manager -- Corporation Properties
80 Park Plaza T-6B
Newark, NJ 07102

New Jersey Turnpike Authority
PO Box 5042, 581 Main Street
Woodbridge, NJ 07095

Passaic Valley Water Commission
1525 Main Avenue
PO Box 230
Clifton, NJ 07015

City of Newark Water Bureau
1294 McBride Avenue
Little Falls, NJ 07424

North Jersey Dist. Water Supply Comm.
741 Ringwood Avenue
Wanaque, NJ 07465

Transcontinental Gas Pipelines
PO Box 2400
Tulsa, OK 74102

Township of Bloomfield
Sub. Cable/Comcast
800 Rahway Avenue
Union, NJ 07088

TOWNSHIP OF
BLOOMFIELD PUBLIC
UTILITY LIST

Verizon
PO Box 152206
Irving, TX 75015

Passaic Valley Sewage Commission
600 Wilson Avenue
Newark, NJ 07105

County of Essex
County Clerk
Hall of Records
465 Dr. Martin Luther King, Jr. Blvd.
Newark, NJ 07102

Norfolk Southern RR Corporation
3 Commercial Place
Norfolk, VA 23510

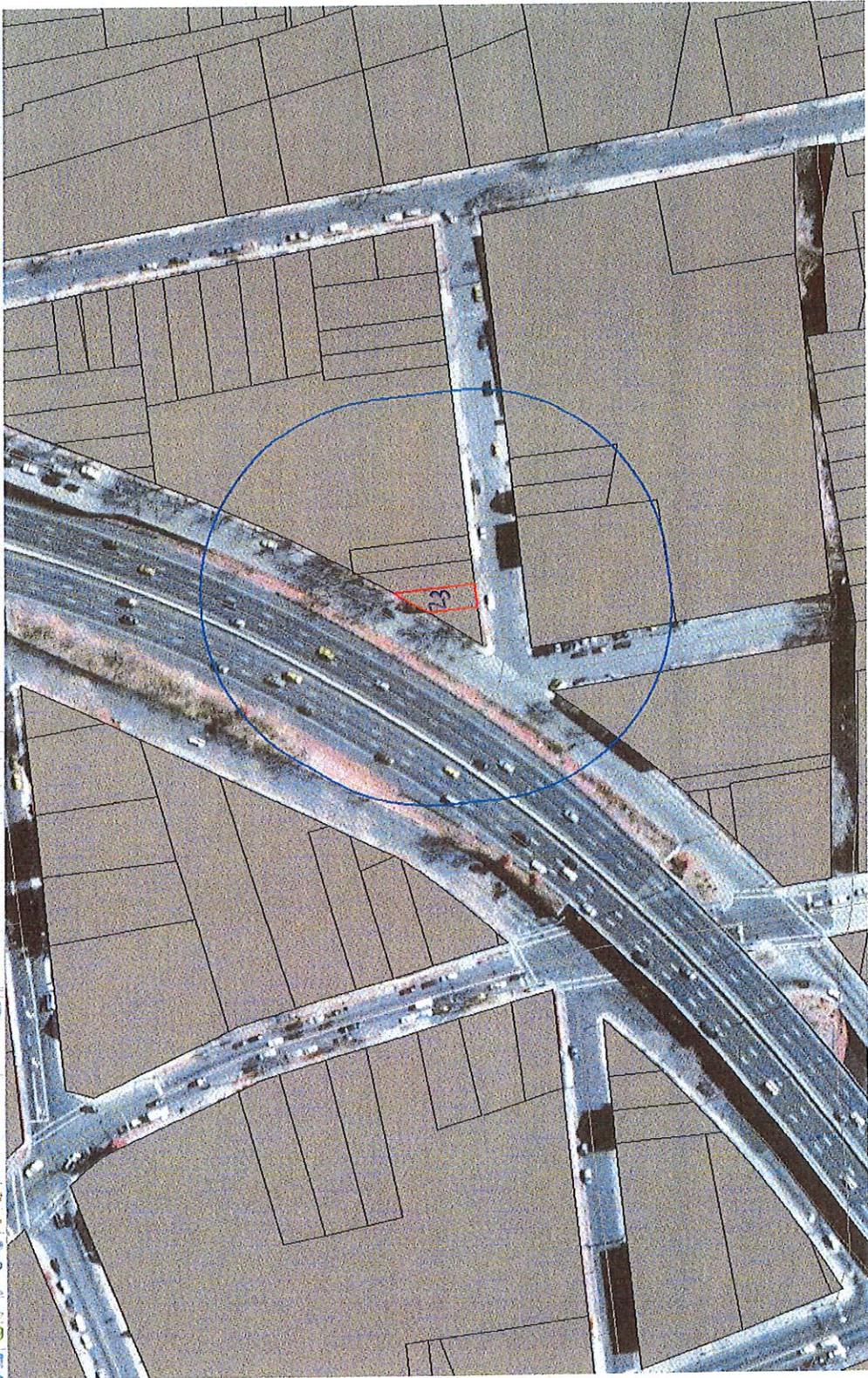
**You MUST mail a
notice to all of these
public utilities along
with the property
owners within 200
square feet.**

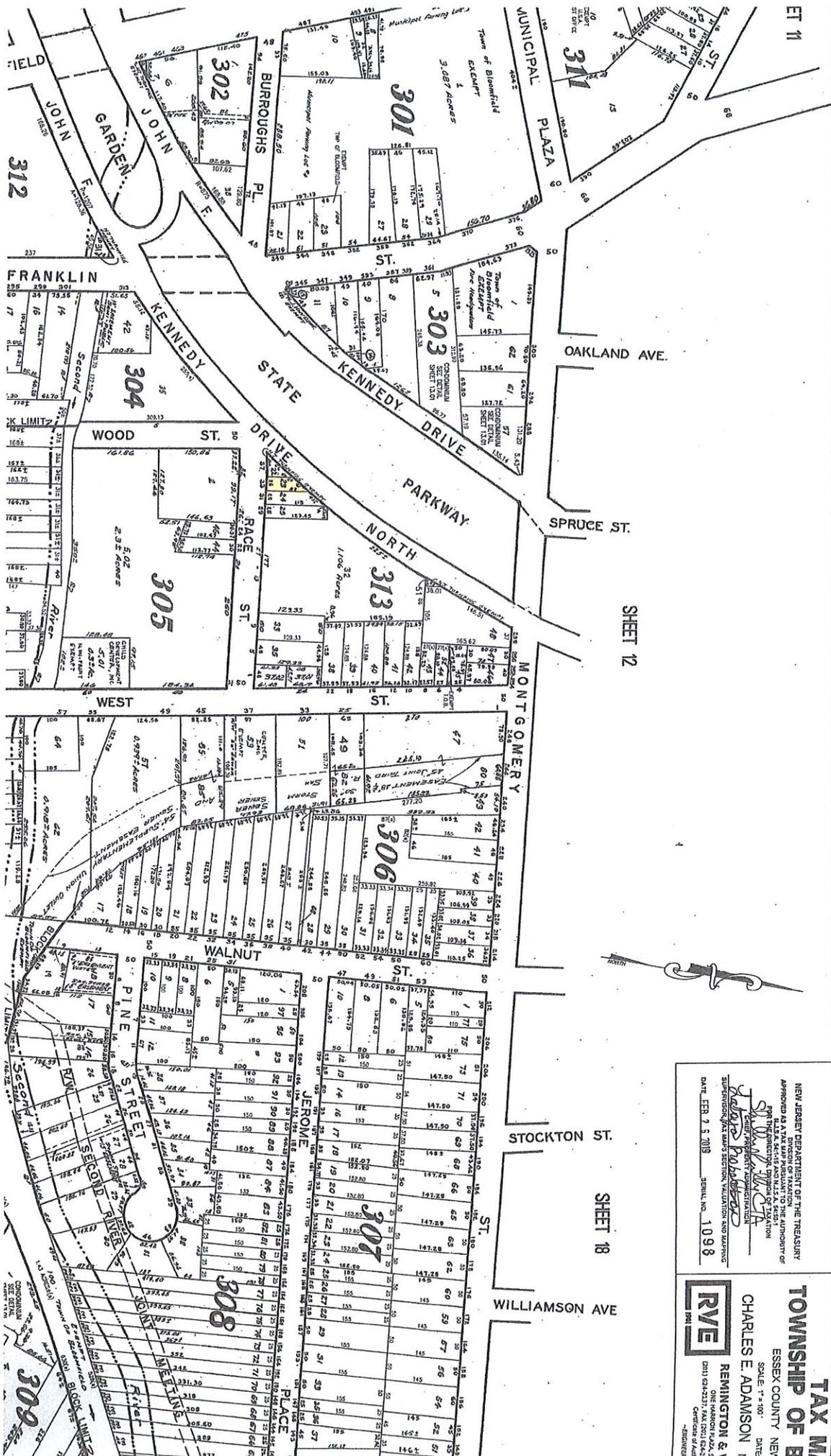
w Help

Legend Views Favorites Tasks Reports

Map Data Grid

1 inch = 95 feet Options 200 ft Offset





ET 11

SHEET 12

SHEET 18

NEW JERSEY DEPARTMENT OF THE TREASURY
 DIVISION OF TAXATION
 APPROVED AS A TAX MAP FOR THE PURPOSES OF THE
 REAL PROPERTY TAX MAPS ACT AND N.J.S. 17:27
 FOR THE PURPOSES OF THE REAL PROPERTY TAX MAPS ACT
 SUPERVISOR: JAMES SECTION VALUATION AND MAPPING
 DATE: FEB. 2, 2019 SERIAL NO. 1098

TAX MAP
TOWNSHIP OF REMINGTON & 1
 ESSEX COUNTY NEW JERSEY
 SCALE: 1" = 100' DATE: _____
 CHARLES E. ADAMSON
 SUPERVISOR
RE
 REMINGTON & 1
 ONE HARBOR PLAZA, 5
 (201) 645-7333
 OFFICE OF THE SUPERVISOR
 REMINGTON & 1

SCHMIDT SURVEYING, LLC

49 Sullivan Street
Westwood, New Jersey 07675
Phone: 201-403-5801 Fax: 201-244-6163
SchmidtSurveying@gmail.com

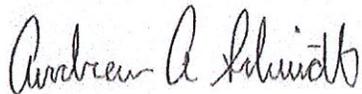
33 Race Street
Tax Lot 23, Block 313
Township of Bloomfield
Essex County, New Jersey

KNOWN AND DESIGNATED as Lot 23 Block 313 as shown on the current Tax Assessment Map, Township of Bloomfield, Essex County, New Jersey and further described as follows:

BEGINNING at a point in the northerly side of Race Street, at a point therein distant westerly 379.54 feet westerly along the same from its intersection with the westerly line of West Street and running; THENCE:

1. North 06 degrees 29 minutes 00 seconds West, a distance of 83.00 feet to a point in the southeasterly sideline of John F. Kennedy Drive North, THENCE;
2. Along the same, on a curve concaved to the northwest having a radius of 1770.00 feet, an arc distance of 41.80 feet to a point, THENCE;
3. South 06 degrees 29 minutes 00 seconds East, a distance of 49.50 feet, to a point in the northerly line of Race Street., THENCE;
4. Running along the northerly side of Race Street, North 83 degrees 31 minutes 00 seconds East, a distance of 25.00 feet to the point and place of BEGINNING;

Being commonly known as 33 Race Street, Township of Bloomfield, New Jersey.
Subject to easements, restrictions, grants, agreements, terms and/or conditions as described in Deed Book 3193 Page 493 and Deed Book 4329 Page 451. Subject to easements and restrictions of record.
In accordance with a survey prepared by Schmidt Surveying, LLC dated November 15, 2024.



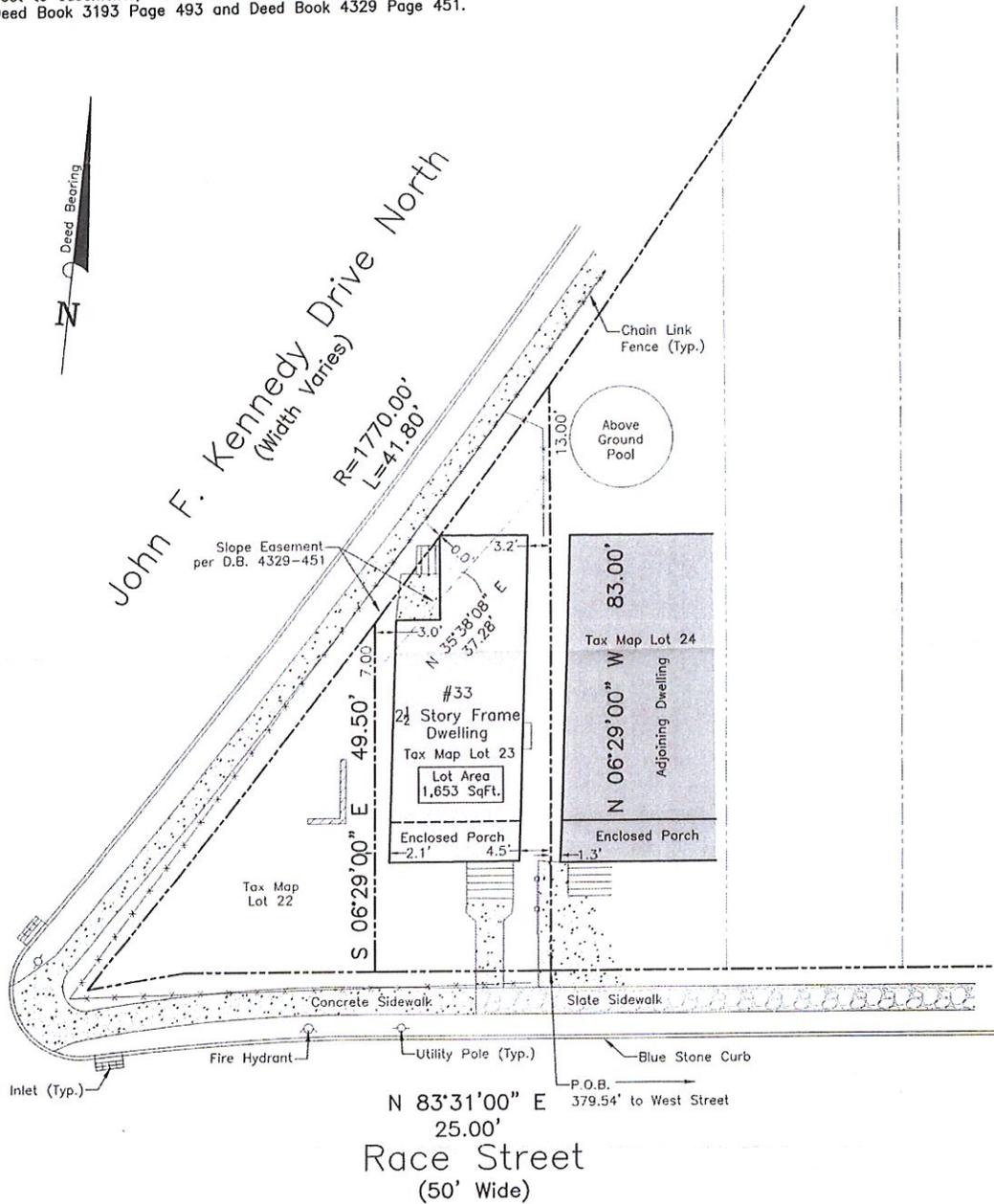
Andrew Schmidt, PLS
Professional Land Surveyor
N.J. License No. 24GS04330100

References:

1. KNOWN AND DESIGNATED as Lot 23 Block 313 as shown on the current Tax Assessment Map, Township of Bloomfield, Essex County, New Jersey.
2. Deed Book 4329 Page 451

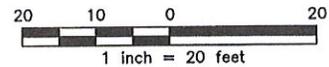
Notes:

1. This survey is for title purpose only.
2. Only surface conditions are shown on this map. The surveyor takes no responsibility for buried pipes, wires, wells, and other utilities.
3. Property subject to easements and restrictions of record and findings of a current title report.
4. Any setback lines shown are per Filed Map or Deed and are subject to change by municipality or other governmental authority.
5. Property corners have not been set pursuant to N.J.A.C. 13:40-5.2.
6. Subject to easements, restrictions, terms and conditions as described in Deed Book 3193 Page 493 and Deed Book 4329 Page 451.



This Survey is certified to:

Rakiat Gbadamosi d/b/a Zayn & Aburo Fam Trust
 First Team Title, LLC (280-238546)
 Fidelity National Title Insurance Company



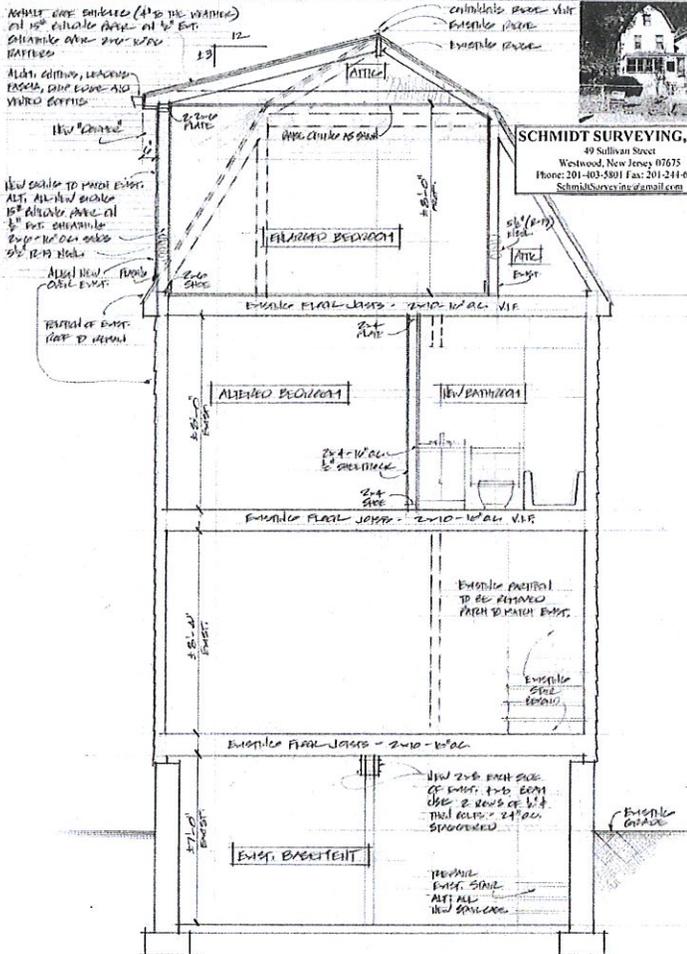
49 Sullivan Street
 Westwood, NJ 07675
 Phone: (201) 403-5801
 www.schmidtsurveying.weebly.com
 Certificate of Authorization No. 24GA28182800

Andrew A. Schmidt

NJ Professional
 Land Surveyor
 No. 24GS04330100

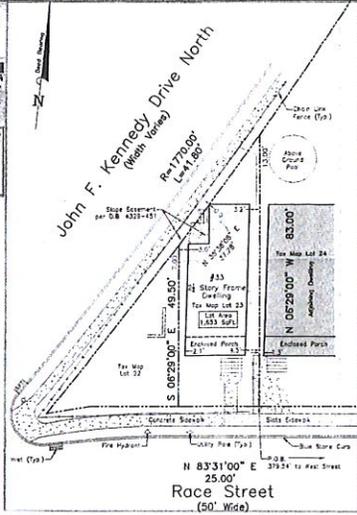
Boundary Survey
 Tax Lot 23 - Block 313
 33 Race Street
 Township of Bloomfield
 Essex County, New Jersey

Drawn: JTC	Checked: AS	Date: 11-15-24	Scale: 1" = 20'
---------------	----------------	-------------------	--------------------



SECTION THRU DWELLING
SCALE: 3/8" = 1'-0"

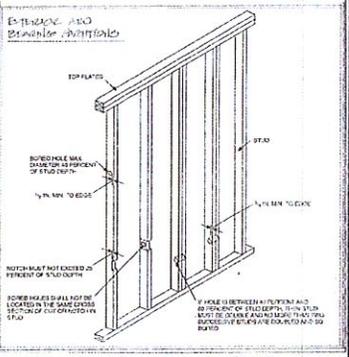
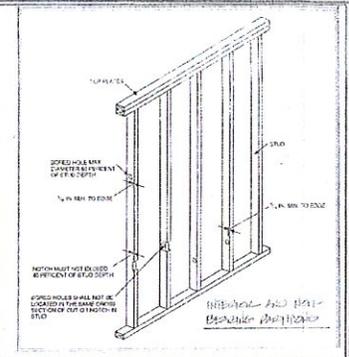
SCHMIDT SURVEYING, LLC
49 Sullivan Street
Westwood, New Jersey 07675
Phone: 201-403-5901 Fax: 201-244-0163
SchmidtSurveying@gmail.com



ZONE INFORMATION SCALE: 1" = 20'

FROM PLANS SUPPLIED BY OWNER

ZONE USE	ZONE: MH 100		
	REARLID	EMERSON	ALTIMED
LOT AREA	1 ACRE	1053 SQ FT	NO CHANGE
LOT WIDTH	150 FT	25 FT	NO CHANGE
FRONT YARD SETBACK	20 FT	15.5 FT	NO CHANGE
REAR YARD SETBACK	20 FT	0 FT	NO CHANGE
SIDE YARD SETBACK	10 FT	2.1 FT	NO CHANGE
ACCESSORY SUPP. SIDE & REAR YARD	10 FT	N/A	N/A
COURTYARD AREA	0% %	45.7%	NO CHANGE
LOT COVERAGE	8% %	53.2%	NO CHANGE
F.A.R.	N/A	N/A	N/A
HEIGHT	60 FT	36.5 FT	NO CHANGE



INTERNATIONAL RESIDENTIAL CODE - 2021
USE NEW JERSEY DEEMS CODE AS AMENDED AS APPLICABLE.
USE SYMBOL: R-5
CLASSIFICATION: 2B
VOLUME OF APPROVED NEW WINDOW AREAS: 1022 SQ FT

DESIGNED BY: SAS	PROPOSED ALTERNATE TO RESUBMIT FOR	REVISED BY: SAS
DATE: 11/19/24	LAYO GRADIMOSI	REV: 20 FEB 2025
REV: 20 FEB 2025	33 RACE STREET, BLOOMFIELD, N.J.	1

FRANK D. MILETO A.I.A.
14 BEAVER BROOK DRIVE, LONG VALLEY, N.J. 07853
(908) 876-9400 (908) 876-9455
ARCHITECT - PROFESSIONAL PLANNER

A106084
L102612

PLUMBING SCHEDULE

FIXTURE	BRANCH PIPING				
	H.W.	C.W.	DRAIN	TRAP	VENT
WATER CLOSET	1/2"	1/2"	4"	BUILT UP	3"
LAVATORY	1/2"	1/2"	1-1/2"	1-1/2"	1-1/2"
BATHTUB / SHOWER	1/2"	1/2"	2"	1-1/2"	1-1/2"
KITCHEN SINK	1/2"	1/2"	1-1/2"	1-1/2"	1-1/2"
STALL SHOWER	1/2"	1/2"	2"	2"	1-1/2"
LAUNDRY TRAY	1/2"	1/2"	1-1/2"	1-1/2"	1-1/2"

* GENERALLY, MAX BE 3 HOLES IN PVC OR ABS PLASTIC. CONSULT WITH LOCAL HEALTH OFFICER. SEE PLUMBING CODES & APPROVALS.

PLUMBING NOTES

GENERAL
The Plumbing Contractor shall furnish all labor, materials, equipment, appliances, tools and accessories required for providing, installing, connecting and testing all plumbing systems and associated equipment in accordance with these specifications and the applicable drawings.

The Plumbing Contractor shall check architectural, structural, H.V.A.C., sprinkler and electrical drawings to avoid possible installation conflicts. Coordinate locations of all fixtures, equipment, piping, etc. with the architectural drawings.

The Plumbing Contractor shall carefully examine the site, drawings and specifications to determine the complete scope of work and be informed of the existing conditions. The Contractor will not be entitled to extra compensation for errors or oversights resulting from his examination. The Contractor shall verify all dimensions, elevations and field conditions before starting work and shall notify the Architect or owner's representative of any discrepancies. If no discrepancies are brought to their attention, the Contractor assumes full responsibility.

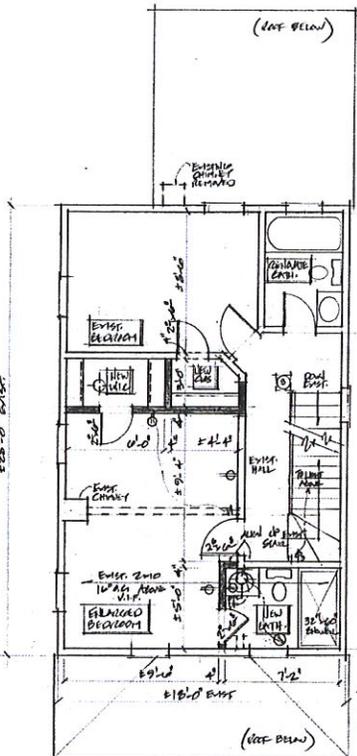
The Plumbing Contractor shall install all work in strict compliance with the new Jersey Uniform Construction Code, the latest adopted edition of the National Standard Plumbing Code, all other applicable codes and regulations and the requirements of all authorities having jurisdiction.

The Plumbing Contractor shall, at his own expense, during the progress of the work, or upon its completion, test all of his work in accordance with the latest adopted edition of the National Standard Plumbing Code (NSPC edition), or as requested by any other authorities having jurisdiction.

The Contractor shall furnish and apply all insulation on all water piping and fittings. All insulation shall be applied over clean dry surfaces, butting all sections or surfaces firmly together and finishing as specified.

The Plumbing Contractor shall include all necessary cutting and patching for floor, wall, ceiling and roof penetrations. Obtain approval from the Architect or Structural Engineer prior to cutting through any structural member. Obtain approval from the Architect or owner's representative prior to cutting any special or masonry roofing system.

1. Contractor shall check and verify all conditions at the site affecting the demolition work and notify the architect, owner, and owner of any discrepancies.
2. Contractor shall obtain all permits and tenant or owner shall pay all fees.
3. All debris shall be removed from the site and disposed of legally. All existing material and equipment to be removed (i.e., lighting fixtures, doors, furnishings, equipment, etc.) shall remain the property of the tenant or owner.
4. Architectural drawings show principal areas where work must be accomplished under this contract. Incidental work may also be necessary to permit the work shown on the architectural drawings and to changes affecting existing mechanical, electrical, plumbing or other systems. Such incidental work is also a part of this contract. Inspect these areas, and ascertain work needed, and do that work in accord with the contract requirements, at no additional cost.
5. Dimensions to existing surfaces are to finished face. Dimensions to new work are to rough face units. All dimensions are nominal. Dimensions to new steel partitions are to face of studs.
6. Protect existing work to remain from damage during demolition and construction phases.
7. Repair, patch, and finish, as applicable, to match adjacent existing finish, those existing surfaces damaged or newly exposed during performance of the work under this contract.
8. Where permanent removal of existing millwork, casework, cabinet work, accessories, equipment or furnishings is required, all previously concealed surfaces are to remain exposed, patch previously concealed surfaces to match adjacent exposed surfaces. Where such surfaces are to receive new finishes, prepare the surfaces to receive the new finishes.
9. Except in spaces where no work under this contract is required, enclose existing and new conduits, ducts, pipes, and similar items in furring where such items pass through finished spaces whether or not furring is indicated.
10. All electrical removal shall be done by a licensed electrician. Remove all wall outlets, switches, light fixtures, and wiring back to distribution panel.

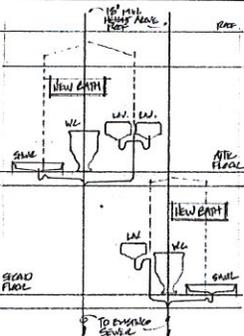


SEE ELECTRICAL LEGEND
ON SHEET #2

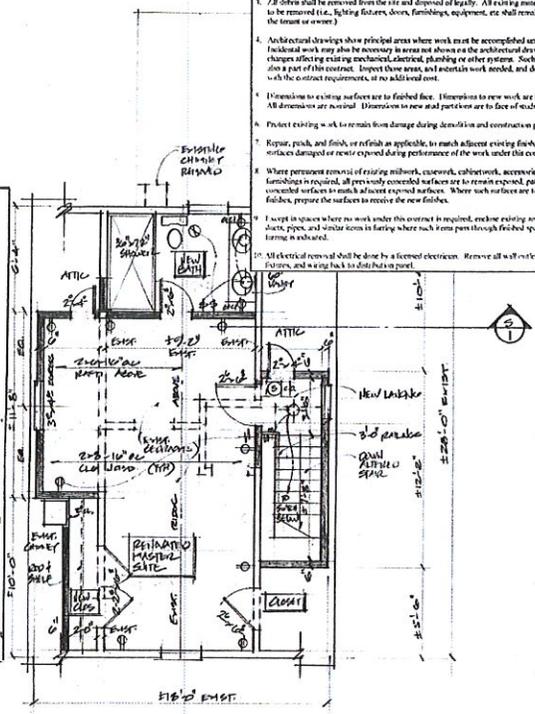
**SECOND FLOOR
PLAN**

SCALE: 1/4" = 1'-0"

HEADERS #	
4" x 8" @ 2'-0"	5'-0" TO 7'-0" @ 2'-0"
3'-0" x 3'-0" @ 2'-0"	7'-0" TO 8'-0" @ 2'-0"
OVER 8'-0" SEE PLAN	* SEE CROSS SECTION INTO



PLUMBING RISER DIAGRAM
SCALE: 1/4" = 1'-0"



SEE ELECTRICAL LEGEND
ON SHEET #2

**ATTIC FLOOR
PLAN**

SCALE: 1/4" = 1'-0"

SEE NOTES RE: DOORS
AND WINDOWS ON SHEET #2

DESIGNED BY: [Signature]	PROPOSED ALTERATIONS TO RESUBMIT FOR [Signature]	DATE: 11/14/2024	PROJECT: 33 RACE STREET, BLOOMFIELD, N.J.
REV: 20 FEB 2025			

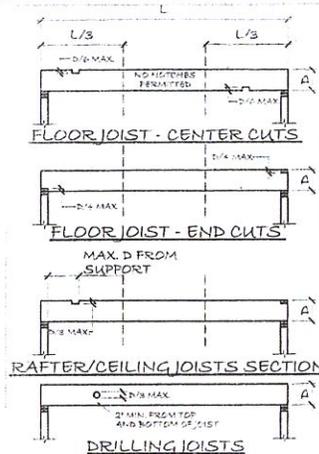
	FRANK D. MILETO A.I.A. 14 BEAVER BROOK DRIVE, LONG VALLEY, N.J. 07853 (908) 876-9400 (908) 876-9455 ARCHITECT - PROFESSIONAL PLANNER	A106084 L102612
	SHEET 3 OF 4	

GENERAL NOTES

- These plans are articles of service and as such are the property of the Architect. They are intended for use in the construction of one building only in the location shown and shall not be used on any additional construction except by the written consent of the Architect. Visual contact with these drawings shall constitute acceptance of these restrictions.
- These drawings are intended only as an outline for construction. The contractor is responsible for all design not specifically and completely shown and specified. All assumptions reached from review of these drawings shall be totally the responsibility of the party making the assumption.
- The International Residential Code, New Jersey Edition, 2021 shall be considered as part of the specifications for this building and shall take preference over anything shown, described or implied when same are at variance.
- Contractor shall verify all dimensions and existing conditions at the site and shall make modifications as required to any portion of the work before proceeding with any phase of the project. Notify the Architect and owner immediately of any discrepancies between drawings and the actual conditions encountered at the site before proceeding with related work.
- All dimensions on plans are nominal and are calculated for one half inch sheetrock finished walls. Critical dimensions are noted "hold". Finished dimensions will vary in actual construction. Do not scale drawings, dimensions are to be used. Where discrepancies are found, verify with owner or Architect.
- Contractor shall provide all shoring, bracing, barricades, temporary fences, partitions and excavation, etc. to accomplish all of the work in an appropriate manner.
- Contractor shall verify the exact location of all underground utilities and notify utilities with the respective utility companies before starting construction or demolition. This notice applies to all information shown on these plans or any associate plans for this project, including plans prepared by others such as utility company plans or engineering plans. The Architect assumes no liability for the contractor's failure to verify any underground locations prior to beginning excavation work or damages done to any underground utility or the contractor's labor, materials or equipment due to failure to verify locations of any utilities.
- Plumbing work shall be done in accordance with the National Standard Plumbing Code, 2021
- Electrical work shall be done in accordance with the National Electrical Code, 2020
- Mechanical work shall be done in accordance with International Mechanical Code, 2021
- Energy calculations are done in accordance with the International Energy Code Residential ASHRAE 90.1, 2021
- All work in progress shall be adequately braced and protected until completed.
- All fixtures, suspended systems, materials and equipment shall be installed and supported in accordance with manufacturer's specifications.

CONSTRUCTION NOTES

- Contractor is responsible for formulation, documenting, and carrying out soil erosion and sedimentation control plans which shall include providing and maintaining of swales, diversions and filters in the construction area and around the work site to prevent soil erosion and sedimentation problems.
- Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection so as not to create a hazard.
- Site grading shall direct water away from building. The grade away from foundation walls shall fall a minimum of 6 inches within the first 10 feet.



- 4-9 N/A
- All surfaces of steel columns shall be given a shop coat of rust-inhibitive paint, except for corrosion-resistant steel and steel with coatings to provide corrosion resistance. All steel columns attached to girders with (4) 1/4" x 3" lag bolts.
- Wood framing members shall have a minimum fiber stress of $f=1400$ p.s.i. and minimum modulus of elasticity of $E=1,400,000$ Douglas fir #2.
- All wood in contact with concrete or masonry shall be wolmanized or pressure treated.
- Design live loads:

First floor	40 lb./sq. ft.	DECK 60 lb./sq. ft.
Second floor	20 lb./sq. ft.	
Attic floor	20 lb./sq. ft.	
Roof	30 lb./sq. ft.	
- Beams and girders:
 - 4" minimum bearing for built up wood beams on masonry.
 - 4'-0" minimum lap of built up beam layers attached with 10d nails at 32" o.c. staggered top and bottom.
 - See manufacturer's specifications for pre-engineered girders.
- Floor joists:
 - The ends of each joist shall not have less than 1 1/2" of bearing on wood.
 - Joists framing from opposite sides over a bearing support shall lap a minimum of 3" and fastened together with (3) 10d nails.
 - Double joists under parallel partitions above.
 - Double joists around openings in floor, ceiling and roof.
 - Double joists under bath tubs.
 - Where wood framing members are supported by other wood members at a similar elevation, use metal joist hanger of appropriate sizes.
 - Install 1" x 3" cross bridging in continuous lines perpendicular to floor framing so that no such member has an un-braced top and bottom length in excess of 8'-10" maximum for spans less than 16' center bridging.
 - See detail for guidelines on cutting, notching and drilling joists (N/A)
 - Provide (3) 8d nails to fasten joists to sill or girders, toe nailed.
 - Provide 8d nails at 6" o.c. to fasten rim joist to top plate, toe nailed.

- See manufacturer's specifications for details on pre-engineered floor joists.
- Floor sheathing:
 - Space joints 1/8" unless otherwise noted by manufacturer; space butt joints 1/32".
 - Stagger end joints, one joist spacing minimum.
 - Provide 8d nails at 8" o.c. to fasten sheathing to joists.
- Wall framing:
 - See details for guidelines on cutting, notching and drilling wood studs. (Sheet #1)
 - Provide fire blocking as per International Residential Code, New Jersey edition.
 - Top plates: provide overlapping at corner and intersections with bearing partitions. End joists shall be offset at least 24".
 - Provide 16d nails - 16" o.c. to fasten sole plate to joist or blocking, face nailed.
 - Provide (2) 16d nails - 16" o.c. to fasten top or sole plate to stud, end nailed.
 - Provide (3) 8d or (2) 16d nails to fasten stud to sole plate, toe nailed.
 - Provide 10d nails - 24" o.c. to fasten double studs, face nailed.
 - Provide 10d nails - 24" o.c. to fasten double top plates, face nailed.
 - Provide (2) 10d nails to fasten top plate laps at corners and intersections, face nailed to plates.
- Roof and framing:
 - The ends of each joist shall not have less than 1 1/2" if bearing on wood.
 - Ends of ceiling joists shall be lapped a minimum of 3" or butted over bearing partition or beams and fastened together with 3 - 10d nails.
 - See details for guidelines on cutting, notching and drilling ceiling joists and rafters.
 - Provide (3) 8d nails to fasten ceiling joists to plate, toe nailed.
 - Provide (3) 10d nails to fasten ceiling joists to parallel rafters, face nailed.
 - Provide (2) 16d nails to fasten rafters to plate, toe nailed.
 - Provide (3) 8d nails to fasten collar ties to rafters.
 - See manufacturer's specifications and drawings for pre-engineered wood roof trusses.
- Sheathing: exterior walls
 - Space joints 1/8" unless otherwise noted by manufacturer.
 - Provide 6d nails 12" o.c. to fasten sheathing to studs.
- Sheathing: roof
 - Space joints 1/8" unless otherwise noted by manufacturer.
 - Stagger end joints; one joist spacing minimum.
 - Provide 8d nails at 12" o.c. to fasten sheathing to rafters.
- Sheetrock:
 - Provide 1 5/8" long minimum nails at 8" o.c. or 1 3/8" minimum screws at 16" o.c. to fasten sheetrock to wood studs.
- Refer to manufacturer's specifications for all exterior and interior wall and roof assemblies.

Drawn: G.G. WJA	PROPOSED ADDITIONS TO RESIDENCE - PER	PLAN # 1022410
DATE: 14 NOV 2024		Sheet
REV: 20 FEB 2025	L.A.O. GRADAMOSI	4
	33 RICE AVENUE, BARTONVILLE, N.J.	OF 4

	FRANK D. MILETO A.I.A.	
	14 BEAVER BROOK DRIVE, LONG VALLEY, N.J. 07853 (908) 876-9400	(908) 876-9455 ARCHITECT - PROFESSIONAL PLANNER
		A106084 L102612