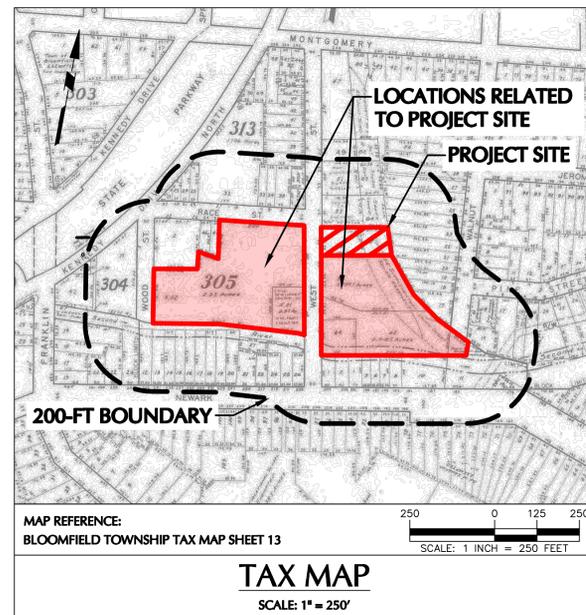
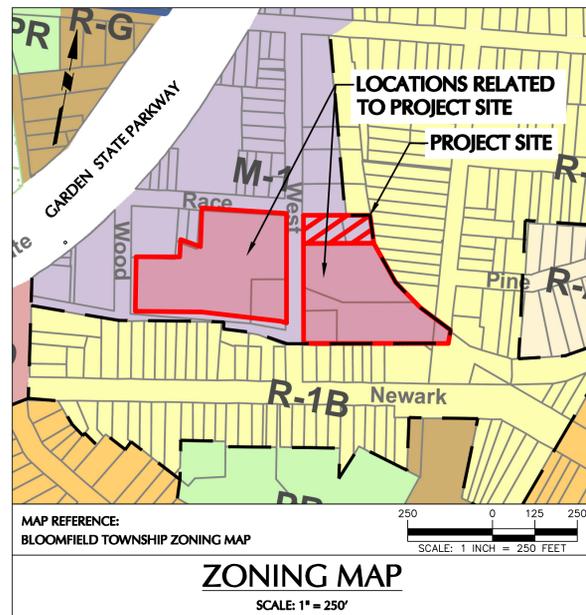
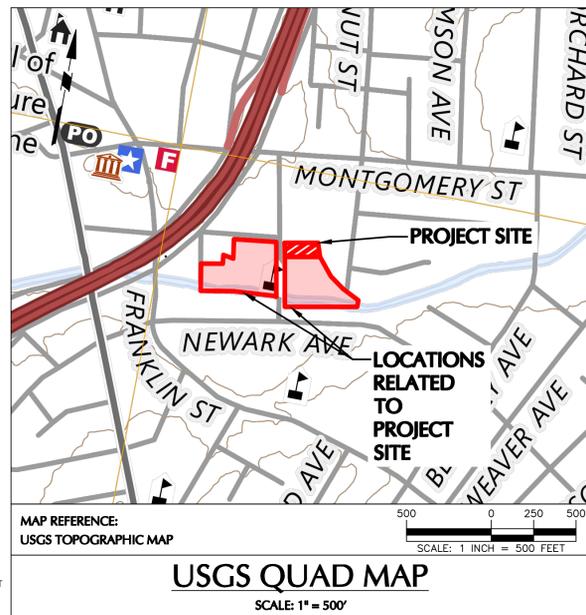


PRELIMINARY AND FINAL MAJOR SITE PLAN FOR BLOOMFIELD MGP PARKING BLOOMFIELD TOWNSHIP, ESSEX COUNTY, NEW JERSEY

**CERTIFIED PROPERTY OWNERS LIST
BLOCK 306 - LOTS 55, 57, 62 & 64
BLOCK 305 - LOTS 5.01 & 5.02**

| BLOCK | LOT | PROPERTY LOCATION | OWNER | OWNERS ADDRESS |
|-------|-------|-----------------------|--------------------------------------|---|
| 305 | 17 | 233 NEWARK AVENUE | NAKHALA, JAN FAKHRY SAAD AWAD, MARO | 233 NEWARK AVE BLOOMFIELD, NJ 07003 |
| 305 | 18 | 231 NEWARK AVENUE | PRATTS, JAVIER & MARIA | 231 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 305 | 19 | 229 NEWARK AVENUE | PARDO, NANCY | 229 NEWARK AVE BLOOMFIELD, NJ 07003 |
| 305 | 20 | 227 NEWARK AVENUE | 227 NEWARK ASSOCIATES, LLC | 227 NEWARK AVE BLOOMFIELD, NJ 07003 |
| 305 | 21 | 225 NEWARK AVENUE | CELI, VICTOR | 225 NEWARK AVE BLOOMFIELD, NJ 07003 |
| 305 | 23 | 217 NEWARK AVENUE | ROBINSON, ROGER & SHARON | 217 NEWARK AVE BLOOMFIELD, NJ 07003 |
| 305 | 24 | 215 NEWARK AVENUE | NG, SHAW JR | 215 NEWARK AVE BLOOMFIELD, NJ 07003 |
| 305 | 25 | 211 NEWARK AVENUE | ROSARIO, JOSE & YELITZA M. | 211 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 305 | 26 | 209 NEWARK AVENUE | ORTIZ-BRAVO, CARMEN | 209 NEWARK AVE BLOOMFIELD, NJ 07003 |
| 305 | 44 | 22 RACE STREET | MEA PROPERTIES, L.L.C. | 13 RACE STREET BLOOMFIELD, NJ 07003 |
| 306 | 1 | 207 NEWARK AVENUE | RAGHUBANS, KHOOON R. & PITAMBER | 6 CEDAR ROAD MONTVILLE, NJ |
| 306 | 2 | 205 NEWARK AVENUE | GAIDA, SAID & SUE-ANN | 205 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 306 | 3 | 201 NEWARK AVENUE | ARROYO, CARLOS | 61 MONTROSE AVE COLONIA, NJ |
| 306 | 5 | 199 NEWARK AVENUE | PRILL, WALLACE & RUTH | 199 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 306 | 6 | 197 NEWARK AVENUE | GONZALEZ REDROVAN, DARWIN FERNANDO | 197 NEWARK AVE BLOOMFIELD, NJ 07003 |
| 306 | 7 | 195 NEWARK AVENUE | PETRAIN, EILEEN | 195 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 306 | 8 | 193 NEWARK AVENUE | GALLT, SANDRA | 193 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 306 | 10 | 187-191 NEWARK AVENUE | SCALERCIO, R. + PALMIERI, F & M | 187-191 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 306 | 11 | 185 NEWARK AVENUE | TOWNSHIP OF BLOOMFIELD | MUNICIPAL PLAZA BLOOMFIELD, NJ 07003 |
| 306 | 17 | 12 WALNUT STREET | MARTINEZ, JOSE A. | 12 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 18 | 14 WALNUT STREET | PETRY, ALYSSA ET AL. | 14 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 19 | 16 WALNUT STREET | LA CAPRA, D. + DEFRANCE, R.P.III | 16 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 20 | 18 WALNUT STREET | BOUJADUALA, A. & TOUROUGUJ, K. | 18 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 21 | 20 WALNUT STREET | HIBBERT, SUZANNE D. | 20 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 22 | 22 WALNUT STREET | MASSON, RICHARD | 22 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 23 | 32 WALNUT STREET | RUTH, HERBERT | 32 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 24 | 34 WALNUT STREET | THURASAMY, SHASHE P + PRASHANTH, PUV | 34 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 25 | 36 WALNUT STREET | RIVERA-FALLU, EDDIE | 36 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 26 | 38 WALNUT STREET | VIJAYAKUMAR, VIGNESH K. | 38 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 27 | 40 WALNUT STREET | DONAIRE, N.M.D. & DONAIRE, P.R. | 40 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 28 | 42 WALNUT STREET | WIGGINS, CHRISTOPHER & DORRETTE | 42 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 306 | 43 | 240 MONTGOMERY STREET | 240 MONTGOMERY ST., LLC | 240 MONTGOMERY STREET BLOOMFIELD, NJ 07003 |
| 306 | 49 | 25-27 WEST STREET | MHV BUILDING, LLC | 11 GROVE STREET CALDWELL, NJ 07006 |
| 306 | 51 | 33 WEST STREET | AGAPE WORSHIP CENTER, INC. | 33 WEST STREET BLOOMFIELD, NJ 07003 |
| 306 | 53 | 33 WEST STREET | AGAPE WORSHIP CENTER, INC. | 33 WEST STREET BLOOMFIELD, NJ 07003 |
| 308 | 9 | 19 WALNUT STREET | DARIUS, GAMMANIEL & SYRIAGUE, RUTH | 19 WALNUT STREET BLOOMFIELD, NJ 07003 |
| 308 | 10 | 15 WALNUT STREET | VEGA, ELIZABETH & ERIC | 15 WALNUT ST BLOOMFIELD, NJ 07003 |
| 308 | 15 | 14 PINE STREET | MALEWICH, FRANK & ROSSETTI, ELICHA | 14 PINE STREET BLOOMFIELD, NJ 07003 |
| 308 | 17 | 8 PINE STREET | PINHEIRO, SEBASTIAO | 8 PINE STREET BLOOMFIELD, NJ 07003 |
| 308 | 18 | 6 PINE STREET | AJADI, SAM KOLA & STELLA BOSE | 6 PINE ST BLOOMFIELD, NJ 07003 |
| 308 | 19 | 9 WALNUT STREET | 9 WALNUT ST BLOOMFIELD LLC | 90 LARECO AVE STATEN ISLAND, NY 10312 |
| 313 | 22 | 37 RACE STREET | NEW JERSEY TURNPIKE AUTHORITY | 240 MONTGOMERY STREET PO BOX 8042, 581 MAIN ST WOODBURGE, NJ 07095-5042 |
| 313 | 23 | 33 RACE STREET | ZAYN AND ABURO FAMILY TRUST | 3 CULLEN DR WEST ORANGE, NJ |
| 313 | 24 | 31 RACE STREET | SCHERILLO, ANNA | P.O. BOX 183 GLEN RIDGE, NJ 07028 |
| 313 | 25 | 29 RACE STREET | RICHEY, JOHN T & NORA A | 29 RACE STREET BLOOMFIELD, NJ 07003 |
| 313 | 32 | 13-27 RACE STREET | MEA PROPERTIES, L.L.C. | 13-27 RACE STREET BLOOMFIELD, NJ 07003 |
| 313 | 33 | 9-11 RACE STREET | DCH INVESTMENTS INC. | PO BOX 1148 BLOOMFIELD, NJ 07003 |
| 313 | 35 | 5 RACE STREET | 5 RACE STREET, LLC | 225 E. HOBART GAP RD. LIVINGSTON, NJ |
| 313 | 37.01 | 24 WEST STREET | JAGESSAR, MELISSA | 24 WEST ST BLOOMFIELD, NJ 07003 |
| 313 | 37.02 | 1 RACE STREET | ESPINERA, XIMENA | 1 RACE STREET BLOOMFIELD, NJ 07003 |
| 313 | 38 | 22 WEST STREET | ROSA, OSBALDO | 22 WEST STREET BLOOMFIELD, NJ 07003 |
| 335 | 21 | 209 FRANKLIN STREET | TOWNSHIP OF BLOOMFIELD | 1 MUNICIPAL PLAZA BLOOMFIELD, NJ 07003 |
| 335 | 26 | 177 FRANKLIN STREET | BLOOMFIELD SOUTH JR. HIGH, UR, LLC | P.O. BOX 100843 CRANSTON, NJ 02910 |
| 335 | 76 | 178 NEWARK AVENUE | FORD, DOUGLAS H & MARTHA P | 178 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 335 | 77 | 182 NEWARK AVENUE | MEYERS, DARREN & VERONICA | 182 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 335 | 78 | 186 NEWARK AVENUE | HABIBUL, JULMALI & FLORINDA | 186 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 335 | 79 | 190 NEWARK AVENUE | LEE, MARIE & FRANCIS A & DONNA M | 190 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 335 | 81 | 196 NEWARK AVENUE | ESTRELLA, ANA | 196 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 335 | 82 | 198 NEWARK AVENUE | GILMORE, THOMAS R. & CINDY SUE | 198 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 335 | 84 | 200 NEWARK AVENUE | PENA, NORBERTO & MERCADO, LUZ | 200 NEWARK AVE BLOOMFIELD, NJ 07003 |
| 335 | 85 | 202 NEWARK AVENUE | LLAUCA YUNGA, ANGEL H & CHLACO, CAR | 202 NEWARK AVE BLOOMFIELD, NJ 07003 |
| 335 | 86 | 204 NEWARK AVENUE | MOOTSOSAMMY, SEERAM & SHENEZA | 204 NEWARK AVE BLOOMFIELD, NJ 07003 |
| 335 | 87 | 206 NEWARK AVENUE | RODRIGUES, ALFREDO & ILDA | 206 NEWARK AVENUE BLOOMFIELD, NJ 07003 |
| 335 | 88 | 208 NEWARK AVENUE | GALLT, DAVID A. & ANNERYS T. | 208 NEWARK AVENUE BLOOMFIELD, NJ 07003 |



CIVIL PLANS SHEET INDEX

| SHEET NUMBER | DRAWING NUMBER | DRAWING TITLE |
|--------------|----------------|--------------------------------------|
| 1 | CS001 | COVER SHEET |
| 2 | CS101 | SITE PLAN |
| 3 | CG101 | GRADING PLAN |
| 4 | CE101 | SOIL EROSION & SEDIMENT CONTROL PLAN |
| 5 | CS501 | CONSTRUCTION DETAILS |

**BULK REQUIREMENTS
GENERAL INDUSTRIAL (M-1)**

| Bulk Regulations | Requirements | Proposed | Complies |
|------------------------|------------------------------|---------------------|----------|
| Use | Parking/Manufacturing/Office | Parking | Yes |
| Min. Lot Area | 1 Ac. | 0.38 AC (16,624 SF) | No* |
| Min. Lot Width | 150 FT | 82.25 FT | No* |
| Min. Front Yard | 20 FT | N/A | N/A |
| Min. Side Yard | 10 FT | N/A | N/A |
| Min. Rear Yard | 40 FT** | N/A | N/A |
| Accessory Building | 10 FT | N/A | N/A |
| Max. Building Coverage | 65% | N/A | N/A |
| Max. Lot Coverage | 85% | 59% | Yes |
| Building Height | 60 FT | N/A | --- |

*Existing non-conforming
**The minimum required setback is 20 FT. Except when abutting a residential zone, the required setback is doubled.

PROJECT CONTACTS

APPLICANT/OWNER:
PUBLIC SERVICE ELECTRIC & GAS
4000 HADLEY ROAD
SOUTH PLAINFIELD, NJ 07080

ATTORNEY:
WEINER LAW GROUP LLP
629 PARSIPPANY ROAD
PARSIPPANY, NJ 07054
TEL: 973-403-1100

CIVIL ENGINEER:
LANGAN
300 KIMBALL DRIVE
PARSIPPANY, NJ 07054
TEL: 973-560-4900

APPROVED BY THE PLANNING BOARD ENGINEER OF BLOOMFIELD TOWNSHIP, ESSEX COUNTY, NEW JERSEY

PLANNING BOARD ENGINEER _____ DATE _____

APPROVED BY THE PLANNING BOARD OF BLOOMFIELD TOWNSHIP, ESSEX COUNTY, NEW JERSEY

PLANNING BOARD CHAIRMAN _____ DATE _____

PLANNING BOARD SECRETARY _____ DATE _____

CALL BEFORE YOU DIG TO LOCATE UNDERGROUND UTILITIES
1 (800) 272-1000
FOR FREE MARKOUTS TO LOCATE UNDERGROUND UTILITIES
CALL AT LEAST 3 DAYS PRIOR TO GROUND DISTURBANCE

CALL BEFORE YOU DIG

| Date | Description | No. |
|-----------|-------------|-----|
| Revisions | | |

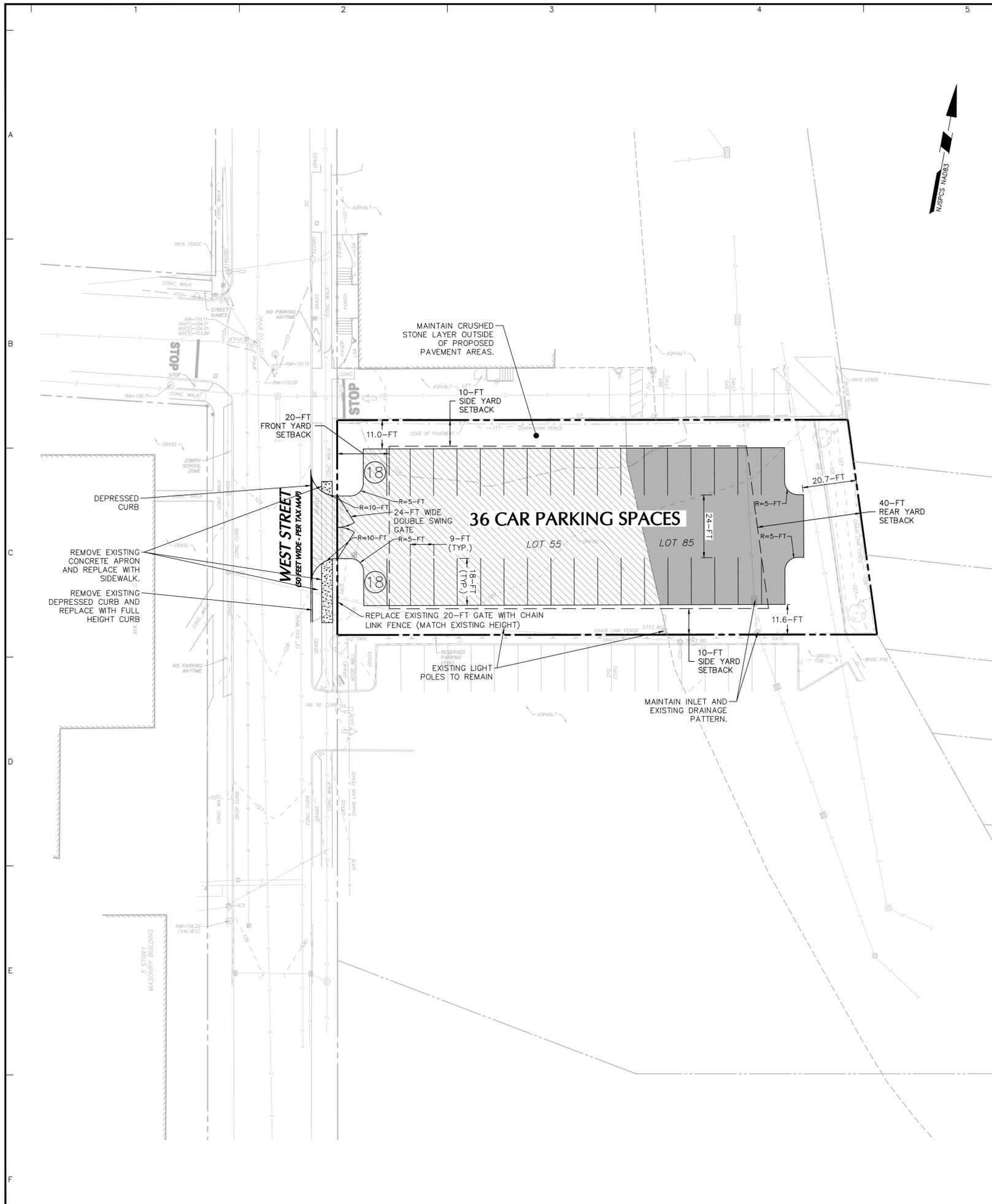
3/31/2025
CHRISTOPHER M. CIRROTTI DATE SIGNED
PROFESSIONAL ENGINEER
NJ LIC. No. 24GE03853800

LANGAN
Langan Engineering and Environmental Services, LLC.
300 Kimball Drive
Parsippany, NJ 07054
T: 973.560.4900 F: 973.560.4901 www.langan.com
NJ Certificate of Authorization No. 24GA27996400

Project
BLOOMFIELD MGP PARKING
BLOCK NO. 305, LOT NO. 5.01 & 5.02
BLOCK NO. 306, LOT NO. 55, 57, 62, 64 & 85
BLOOMFIELD
ESSEX COUNTY NEW JERSEY

Drawing Title
COVER SHEET

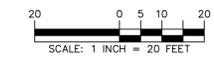
| | | | |
|-------------|------------|--------------|-------|
| Project No. | 101019901 | Drawing No. | CS001 |
| Date | 12/11/2024 | | |
| Drawn By | SLA | Sheet 1 of 5 | |
| Checked By | PGM | | |



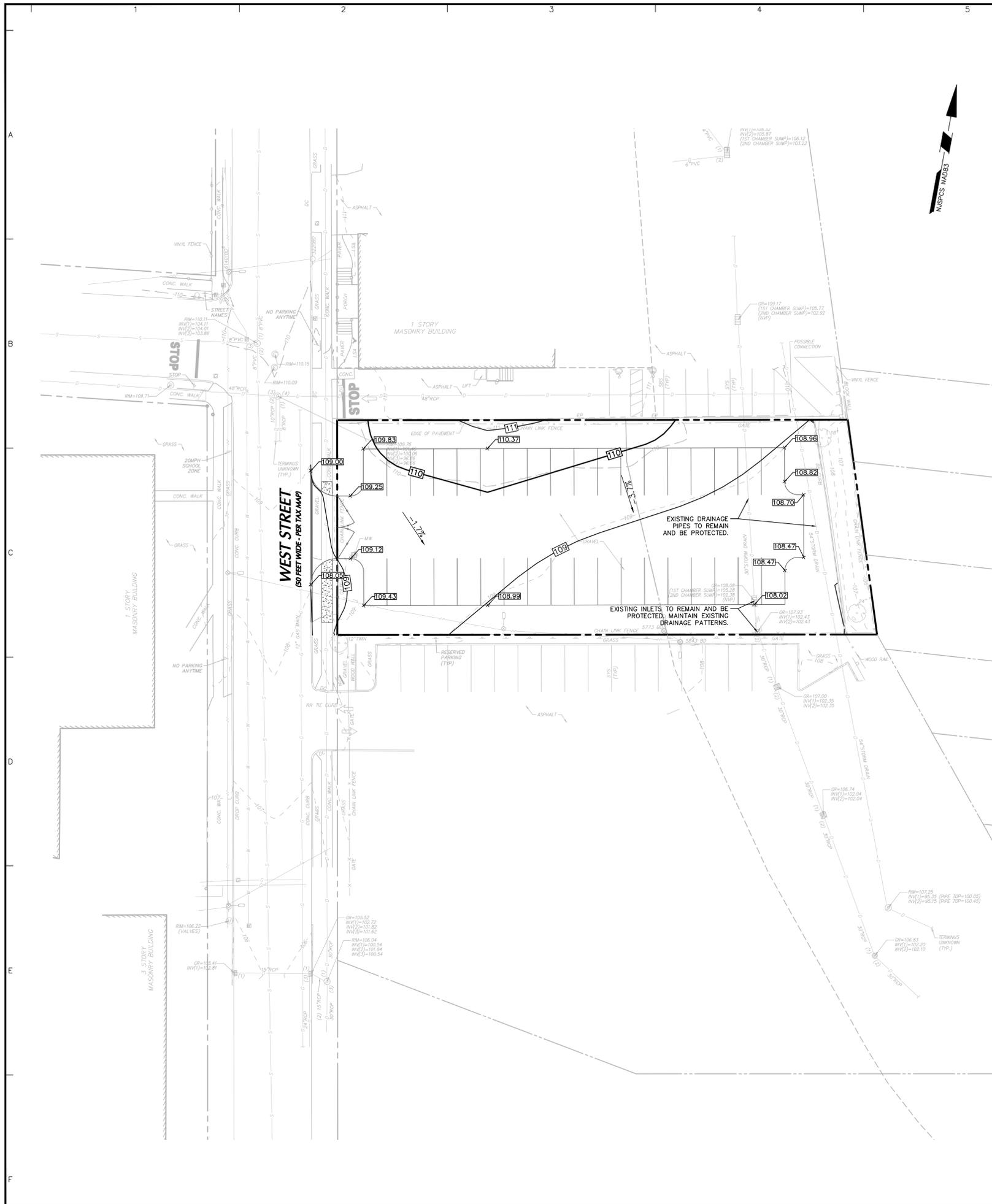
| SITE PLAN LEGEND | |
|------------------|----------------------------|
| | PROPERTY LINE |
| | PROPOSED CURB |
| | PROPOSED DEPRESSED CURB |
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED PAVEMENT (LOT 55) |
| | PROPOSED PAVEMENT (LOT 85) |
| | PARKING STALL COUNT |

- NOTES:
- BOUNDARY AND SURVEY DATA OBTAINED FROM SURVEY ENTITLED, "BOUNDARY & TOPOGRAPHIC SURVEY, BLOOMFIELD MGP PARKING", PREPARED BY LANGAN, DATED JULY 18, 2024.
 - THE PROPOSED ONSITE IMPERVIOUS AREAS TOTAL APPROXIMATELY 10,180 SF (0.23 Ac).
 - CONTRACTOR SHALL PROTECT ANY EXISTING UTILITIES TO REMAIN DURING SAWCUTTING, DEMOLITION, AND SITE CONSTRUCTION.
 - CONTRACTOR IS REQUIRED TO PERFORM ALL ON-SITE DEMOLITION REQUIRED TO CONSTRUCT THE PROJECT AS ILLUSTRATED ON THE DRAWING.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL PERMIT CONDITIONS REQUIRED.
 - ALL DEBRIS FROM DEMOLITION AND SITE CONSTRUCTION SHALL BE REMOVED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
 - THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND OWNER'S ENGINEER PRIOR TO COMMENCEMENT OF WORK. ANY CONDITIONS THAT DIFFER FROM THE SURVEY SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR A CHANGE ORDER.

| Date | Description | No. |
|--|--------------|-----|
| Revisions | | |
| 3/31/2025 CHRISTOPHER M. CIRROTTI DATE SIGNED PROFESSIONAL ENGINEER NJ LIC. No. 24GE03853800 | | |
| LANGAN Langan Engineering and Environmental Services, LLC. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ Certificate of Authorization No. 24GA27996400 | | |
| Project | | |
| BLOOMFIELD MGP PARKING BLOCK NO. 305, LOT NO. 5.01 & 5.02 BLOK NO. 306, LOT NO. 55, 57, 62, 64 & 85 BLOOMFIELD | | |
| ESSEX COUNTY NEW JERSEY Drawing Title | | |
| SITE PLAN | | |
| Project No. | Drawing No. | |
| 101019901 | CS101 | |
| Date | | |
| 12/11/2024 | | |
| Drawn By | | |
| SLA | Checked By | |
| PGM | Sheet 2 of 5 | |



LANEGAN Project No. 101019902



| GRADING & DRAINAGE PLAN LEGEND | |
|--------------------------------|------------------------|
| --- -109- --- | EXISTING MINOR CONTOUR |
| --- -110- --- | EXISTING MAJOR CONTOUR |
| — 109 — | PROPOSED MINOR CONTOUR |
| — 110 — | PROPOSED MAJOR CONTOUR |
| — 109.00 — | PROPOSED SPOT GRADE |
| [Hatched Box] | EXISTING CATCH BASIN |
| (M) | EXISTING STORM MANHOLE |
| — () — | EXISTING STORM PIPE |

- NOTES:**
- BOUNDARY AND SURVEY DATA OBTAINED FROM SURVEY ENTITLED, "BOUNDARY & TOPOGRAPHIC SURVEY, BLOOMFIELD MGP PARKING", PREPARED BY LANGAN, DATED JULY 18, 2024.
 - ALL ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - SITE GRADING SHALL BE IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY ENGINEER OF ANY INCONSISTENCIES PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO CONFIRM ALL STRUCTURE INVERTS AND NOTIFY ENGINEER OF ANY INCONSISTENCIES PRIOR TO CONSTRUCTION.
 - SPOT GRADES REPRESENT PAVEMENT GRADES OR BOTTOM OF CURB UNLESS OTHERWISE STATED.
 - ALL AREAS SHALL BE WELL GRADED TO MINIMIZE FLAT AREAS, TO PROVIDE PROPER DRAINAGE, AND TO PREVENT LOCALIZED PONDING.

- FLOOD HAZARD AREA NOTES:**
- THE CONVERSION BETWEEN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) IS +1.0 FOOT FOR LOCATIONS WITHIN ESSEX COUNTY, PER THE FLOOD EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE STUDY, DATED 4/3/2020.
 - THE ENTIRE SITE IS LOCATED WITHIN THE FLUVIAL 100-YEAR FLOOD HAZARD AREA IDENTIFIED AT 114 TO 114.7 NAVD88 BY THE NJDEP DIVISION OF WATER RESOURCES FLOOD DELINEATION OF FLOODWAY AND FLOOD HAZARD AREA OF THE SECOND RIVER, BLOOMFIELD TOWN MAP (DATED JUNE 1980). THE SITE IS ALSO ENTIRELY LOCATED WITHIN THE FEMA EFFECTIVE FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 34013G0112C (DATED 4/30/2020) 100-YEAR FLOOD HAZARD AREA IDENTIFIED AT 112.6 TO 113 FEET NAVD88. THE NJDEP REGULATES THE MOST RESTRICTIVE/HIGHEST 100-YEAR FLOOD HAZARD AREA ELEVATION ON A SITE. IN ADDITION, THE NJDEP ASSIGNS AN ADDITIONAL THREE (3) FEET TO THE BASE FLOOD ELEVATION (BFE) IN FEMA MAPPED FLUVIAL FLOOD PLAINS AND TWO (2) FEET IN NJDEP MAPPED FLUVIAL FLOOD PLAINS. AS SUCH, THE REGULATORY FLUVIAL FLOOD HAZARD AREA DESIGN FLOOD ELEVATION (100-YEAR FLOOD PLAN) ONSITE IS BETWEEN ELEVATION 116 TO 116.7 FEET (NAVD88) (117 TO 117.7 FEET NGVD29).

| Date | Description | No. |
|--|-------------|--------|
| Revisions | | |
|  3/31/2025 CHRISTOPHER M. CIRROTTI DATE SIGNED PROFESSIONAL ENGINEER NJ LIC. No. 24GE03853800 | | |
| LANGAN Langan Engineering and Environmental Services, LLC. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ Certificate of Authorization No. 24GA27996400 | | |
| Project | | |
| BLOOMFIELD MGP PARKING BLOCK NO. 305, LOT NO. 5.01 & 5.02 BLOK NO. 306, LOT NO. 55, 57, 62, 64 & 85 BLOOMFIELD ESSEX COUNTY NEW JERSEY | | |
| Drawing Title | | |
| GRADING & DRAINAGE PLAN | | |
| Project No. | Drawing No. | |
| 101019901 | CG101 | |
| Date | 12/11/2024 | |
| Drawn By | SLA | |
| Checked By | PGM | |
| | Sheet | 3 of 5 |



Project No. 101019902

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS.
- PERMANENT VEGETATION SHALL BE SEED OR SODED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION LAST REVISED JULY 2017.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.: STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
- ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAN 3:1)
- TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6" PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
- AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES.
- IN THAT N.J.S.A. 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
- MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION AT THE REQUEST OF THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT.
- HYDRO SEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.

SOIL EROSION AND SEDIMENT CONTROL PLAN NOTES

HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT
80 ORCHARD ST
BLOOMFIELD, NJ 07003
PHONE: (862) 333-4505
FAX: (862) 333-4507
INFORMATION@HEPSCD.ORG

CONTRACTOR MUST NOTIFY DISTRICT
48-HOURS PRIOR TO START OF CONSTRUCTION.

SOIL CONSERVATION DISTRICT CONTACT

- CONTRACTOR TO COORDINATE STAGING AREAS, TRAILER LOCATION AND TEMPORARY STOCKPILE LOCATIONS WITH OWNER.
- VEHICLE WASH DOWN PADS TO BE PROVIDED THROUGHOUT THE DURATION OF THE PROJECT.
- INLET PROTECTION REQUIREMENTS SHALL NOT BE LIMITED TO STRUCTURES LOCATED WITHIN THE PHASE LIMITS OF WORK. ANY AND ALL INLETS WHICH COULD BE AFFECTED BY RUNOFF SHALL BE PROTECTED.
- CONTRACTOR MAY ELECT TO PROVIDE HAY BALES OR ALTERNATIVE MEANS OF INLET PROTECTION TO EXISTING INLETS. ALL ALTERNATIVES MUST BE APPROVED BY THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT. COPIES OF DETAIL AND APPROVAL TO BE PROVIDED TO THE OWNER AND OWNER'S REPRESENTATIVE.
- CONTRACTOR MUST PROTECT WORK, EXISTING PREMISES AND OWNER'S OPERATION FROM THEFT, VANDALISM AND UNAUTHORIZED ENTRY.
- CONTRACTOR MUST RESTRICT ENTRANCE OF PERSONS AND VEHICLES INTO PROJECT SITE. ALLOW ENTRANCE TO AUTHORIZED PERSONS WITH PROPER IDENTIFICATION ONLY. MAINTAIN A LOG OF WORKERS AND VISITORS TO BE AVAILABLE TO OWNER ON REQUEST.

CONSTRUCTION NOTES

- GRADING AND DRAINAGE
1. SITE DISTURBANCE SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED, AND ALL GOVERNING AGENCIES HAVE BEEN NOTIFIED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL FLUSH AND CLEAN ALL EXISTING ON-SITE STORM PIPING AND STRUCTURES THAT ARE TO REMAIN WITHIN THE LIMITS OF WORK OR AS INDICATED ON THE PLANS.
- COMPACTION CRITERIA FOR FILL PLACED IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA IS GIVEN ELSEWHERE:

| FILL AREA | % OF MAXIMUM MODIFIED PROCTOR DRY DENSITY |
|-----------------------------------|---|
| PAVEMENT, SIDEWALKS, AND ROADWAYS | 95% |
| LANDSCAPED AREAS | 92% |
| TRENCH BACKFILL | 95% |

- PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING DEMOLITION, INCLUDING CONCRETE TRUCKS AND DUMP TRUCKS.
- REMOVE AREAS OF FINISHED SUBGRADE FOUND TO BE UNSATISFACTORY BY OWNER'S ENGINEER AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE AND CROSS-SECTION AND SHALL NOT RUT OR WEAVE WHEN LOADED WITH A FULL DUMP TRUCK.

GRADING & DRAINAGE NOTES

STANDARD FOR DUST CONTROL

- DUST CONTROL MEASURES SHALL BE USED TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON-SITE AND OFF-SITE DAMAGE AND HEALTH HAZARDS, AND IMPROVE TRAFFIC SAFETY. ONE OR MORE OF THE FOLLOWING METHODS MAY BE USED FOR DUST CONTROL:
- MULCH
 - SEE SPECIFICATIONS, THIS SHEET.
 - VEGETATIVE COVER
 - SEE SPECIFICATIONS, THIS SHEET.
 - SPRAY-ON ADHESIVES
 - ANIONIC ASPHALT EMULSION, DILUTED WITH WATER AT 7:1, COARSE SPRAY, APPLY AT A RATE OF 1200 GALLONS/ACRE.
 - LATEX EMULSION, DILUTED WITH WATER AT 12.5:1, FINE SPRAY, APPLY AT A RATE OF 235 GALLONS/ACRE.
 - POLYACRYLAMIDE (PAM) SPRAY ON OR DRY SPREAD - APPLY PER MANUFACTURER'S INSTRUCTIONS.
 - ACIDULATED SOY BEAN SOAP STICK, DO NOT DILUTE, COARSE SPRAY, APPLY AT A RATE OF 1200 GALLONS/ACRE.
 - TILLAGE
 - ROUGHEN THE SURFACE TO BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING BEGINS. BEGIN PLOWING ON THE WINDWARD SIDE OF THE SITE. USE CHISEL-TYPE PLOWS SPACES APPROXIMATELY 12" APART, OR SPRING-TOOTHED HARROWS.
 - SPRINKLING
 - SPRINKLE ALL EXPOSED AREAS UNTIL THE SURFACE IS WET.
 - BARRIERS
 - SOLID BOARD FENCE, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIALS USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
 - CALCIUM CHLORIDE
 - LOOSE, DRY GRANULES OR FLAKES SHALL BE FED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP THE SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IS USED ON STEEP SLOPES, OTHER PRACTICES MUST ALSO BE IMPLEMENTED TO PREVENT WASHING INTO STREAMS OR ACCUMULATION AROUND PLANTS.
 - STONE
 - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

STANDARD FOR DUST CONTROL

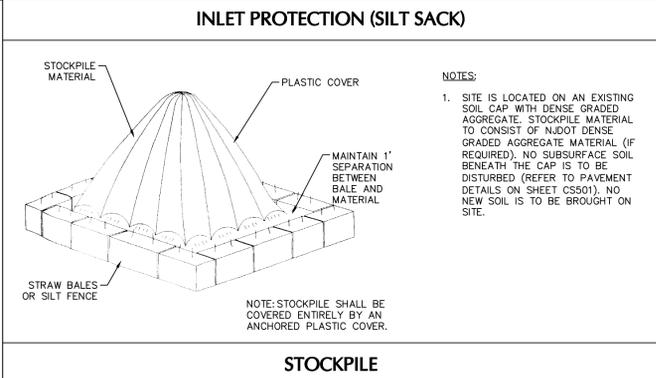
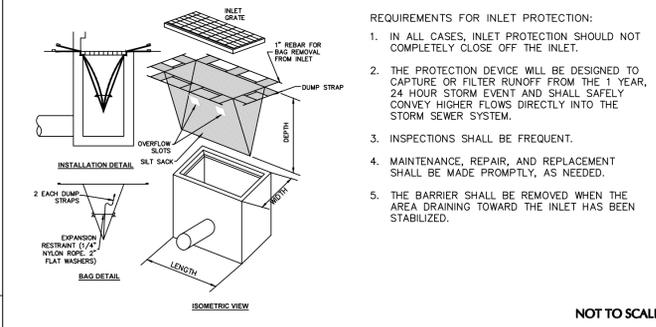
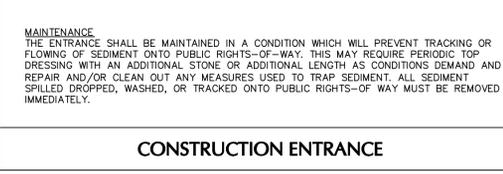
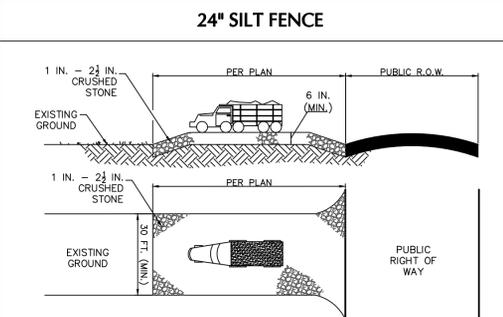
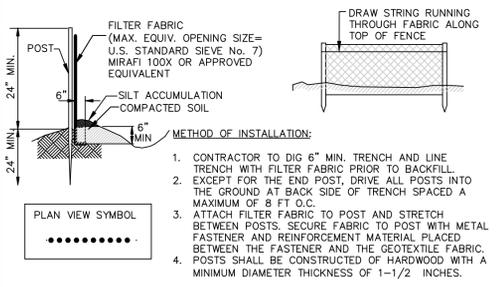
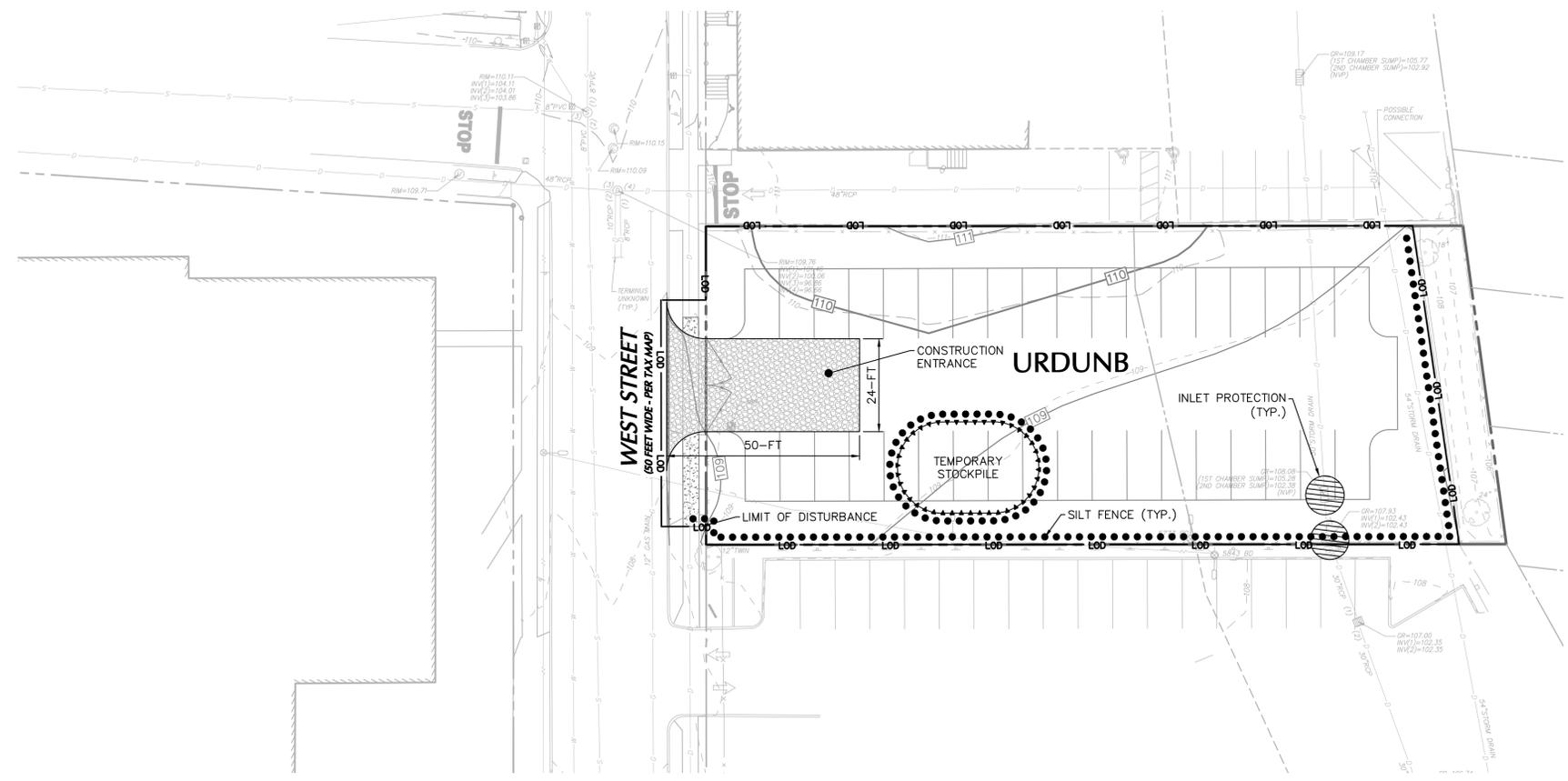
- NOTIFY THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT IN WRITING AT LEAST 48 HOURS PRIOR TO ANY PROJECT PRE CONSTRUCTION MEETING OR SITE DISTURBANCES.
- INSTALL A CRUSHED STONE, VEHICLE-CLEANING BLANKET OF 1 IN. TO 2-1/2 IN. WASHED STONE 6 IN. DEEP AT THE CONSTRUCTION ENTRANCE IMMEDIATELY AFTER INITIAL DISTURBANCES AS PER STANDARDS ON DRAWINGS. SITE TRAFFIC SHOULD ONLY USE THIS AREA FOR INGRESS AND EGRESS. INSTALL SILT FENCE AND BARRIERS.
- CONSTRUCT STOCKPILE AND STABILIZE.
- PROPOSED SITE IMPROVEMENTS SHALL ONLY BE STARTED AFTER RECEIVING SITE PLAN APPROVAL FROM THE REGULATORY AGENCIES HAVING JURISDICTION AND CERTIFICATION OF THE SITE CONSTRUCTION SOIL EROSION AND SEDIMENT CONTROL PLAN FROM THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT.
- ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL IMPROVEMENTS TO THE SITE ARE COMPLETE.
- COMPLETE GRADING AND SITE IMPROVEMENTS.
- ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL PERMANENT IMPROVEMENTS TO THE SITE ARE COMPLETE.
- REMOVE ALL TEMPORARY SEDIMENT CONTROL STRUCTURES AND MEASURES. PERMANENTLY STABILIZE ALL AREAS.
- NOTIFY THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT AT THE COMPLETION OF CONSTRUCTION.

CONSTRUCTION SEQUENCE

EXEMPTION NOTE:

- THE PROJECT SITE IS LOCATED WITHIN THE METROPOLITAN PLANNING AREA PA-1 AND HAS BEEN PREVIOUSLY DEVELOPED. THIS QUALIFIES AS AN "URBAN REDEVELOPMENT AREA" WHICH IS EXEMPT FROM SUBSOIL DECOMPACTION AS LISTED UNDER ITEM #6 ON PAGE 19-2 OF THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.

EXEMPTION NOTE



NOTES:
1) BOUNDARY AND SURVEY DATA OBTAINED FROM SURVEY ENTITLED, "BOUNDARY & TOPOGRAPHIC SURVEY, BLOOMFIELD MGP PARKING", PREPARED BY LANGAN, DATED JULY 18, 2024.

SOIL EROSION & SEDIMENT CONTROL PLAN LEGEND

- LOD --- LIMIT OF DISTURBANCE
- SILT FENCE
- TEMPORARY STOCKPILE
- CONSTRUCTION ENTRANCE
- URDUNB SOIL TYPE
- INLET PROTECTION

LIMIT OF DISTURBANCE = 16,250 SF / 0.37 AC.

REQUIREMENTS FOR INLET PROTECTION:

- IN ALL CASES, INLET PROTECTION SHOULD NOT COMPLETELY CLOSE OFF THE INLET.
- THE PROTECTION DEVICE WILL BE DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGHER FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
- INSPECTIONS SHALL BE FREQUENT.
- MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED.
- THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARD THE INLET HAS BEEN STABILIZED.

NOT TO SCALE

NOTES:

- SITE IS LOCATED ON AN EXISTING SOIL CAP WITH DENSE GRADED AGGREGATE. STOCKPILE MATERIAL TO CONSIST OF NODUL DENSE GRADED AGGREGATE MATERIAL (IF REQUIRED). NO SUBSURFACE SOIL BENEATH THE CAP IS TO BE DISTURBED (REFER TO PAVEMENT DETAILS ON SHEET C5501). NO NEW SOIL IS TO BE BROUGHT ON SITE.

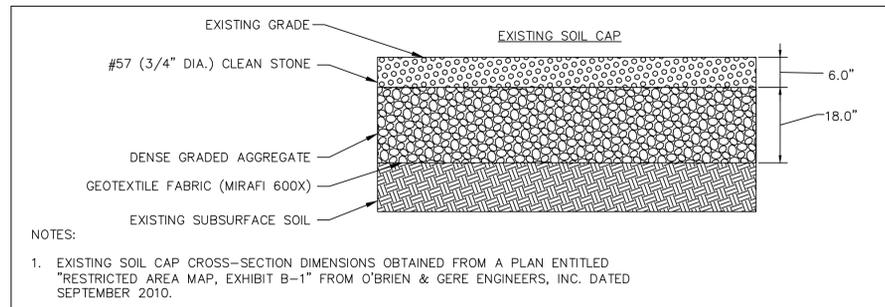
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| Revisions | | |
| 3/31/2025 CHRISTOPHER M. CIRROTTI DATE SIGNED PROFESSIONAL ENGINEER NJ LIC. NO. 24GE03853800 | | |
| Langan Engineering and Environmental Services, LLC. 300 Kimball Drive Parsippany, NJ 07054 T: 973.560.4900 F: 973.560.4901 www.langan.com NJ Certificate of Authorization No. 24GA27996400 | | |
| Project | | |

BLOOMFIELD MGP PARKING

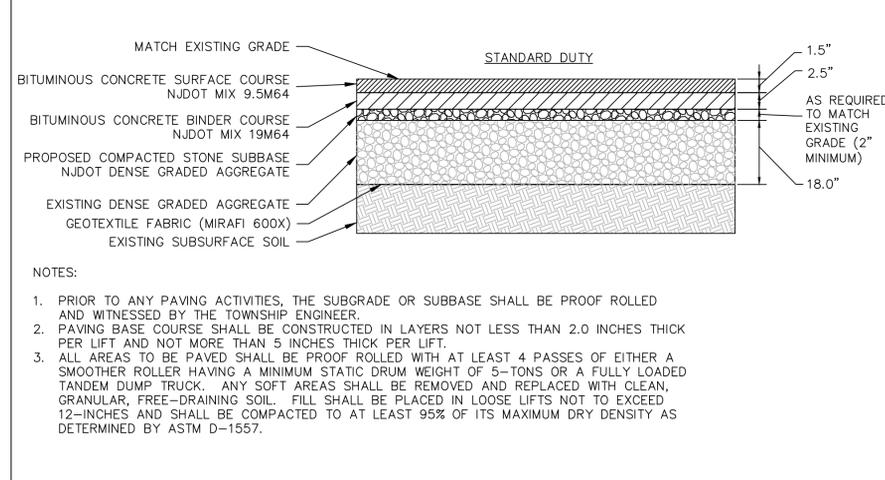
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BLOK NO. 306, LOT NO. 55, 57, 62, 64 & 85
BLOOMFIELD

SOIL EROSION & SEDIMENT CONTROL PLAN

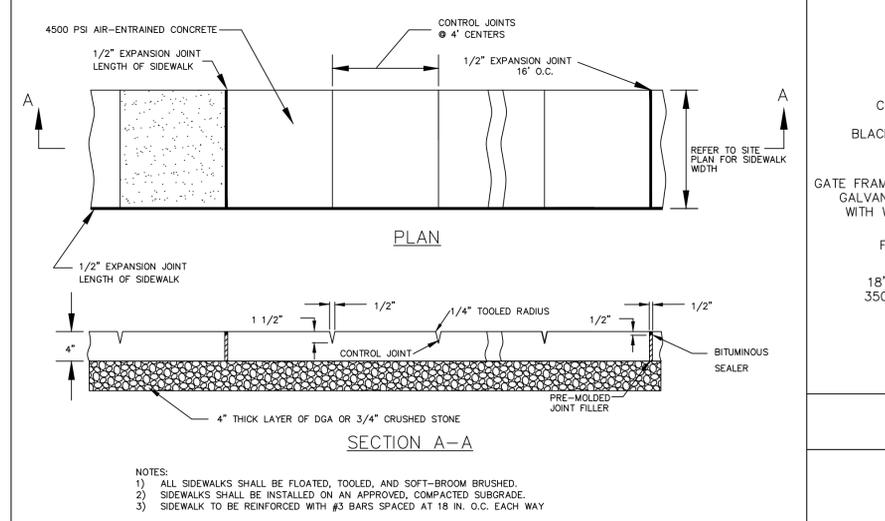
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Checked By PGM
Sheet 4 of 5



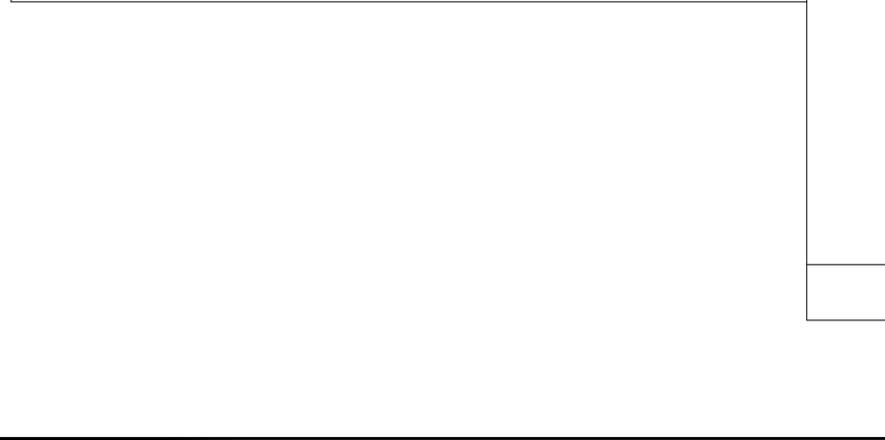
EXISTING SOIL CAP (LOT 55) NTS



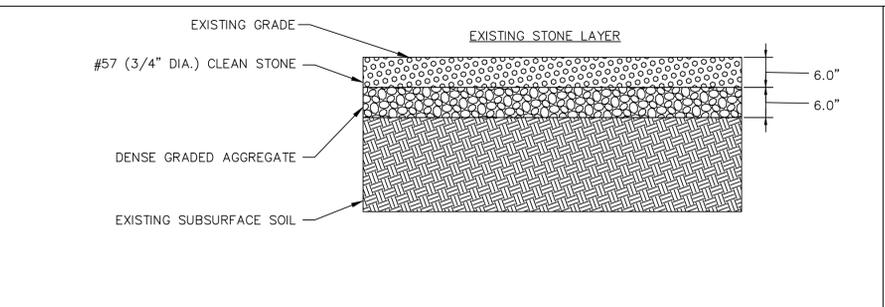
PROPOSED ASPHALT PAVEMENT SECTION (LOT 55) NTS



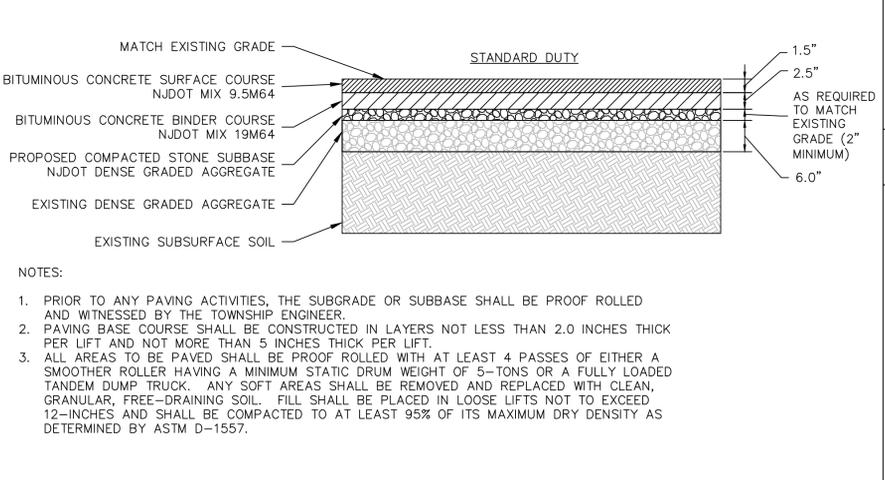
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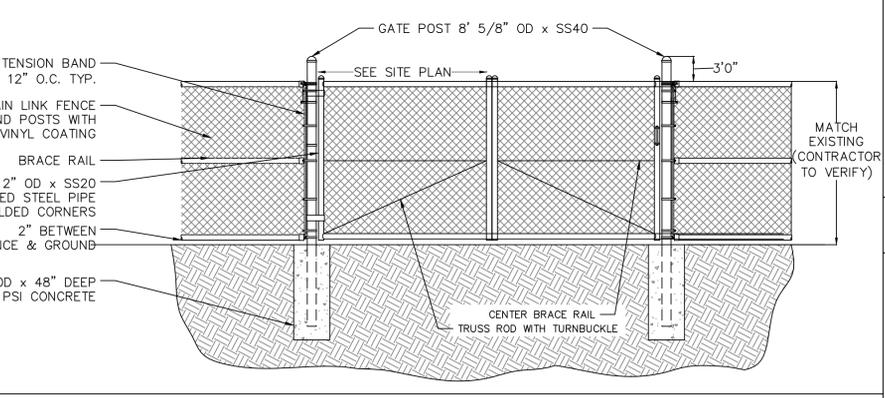
CHAIN LINK FENCE NTS



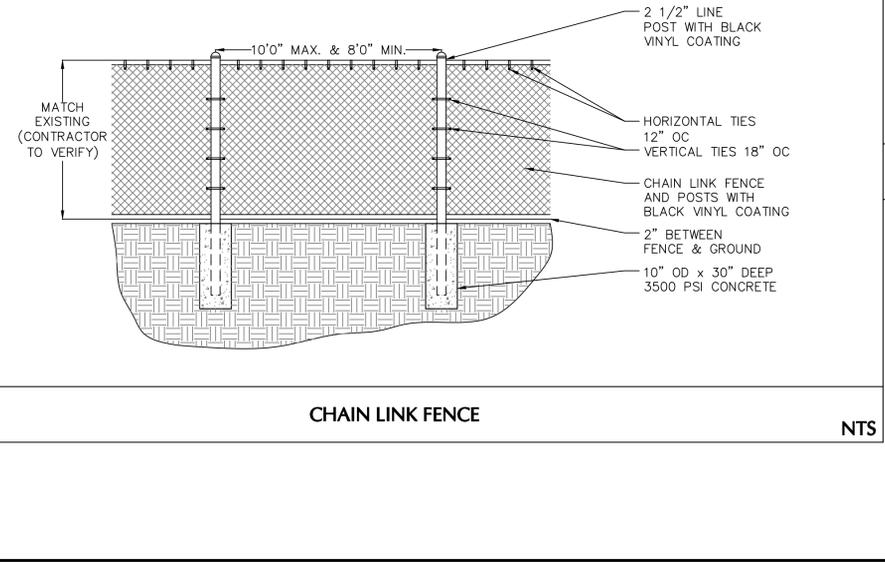
EXISTING STONE LAYER (LOT 85) NTS



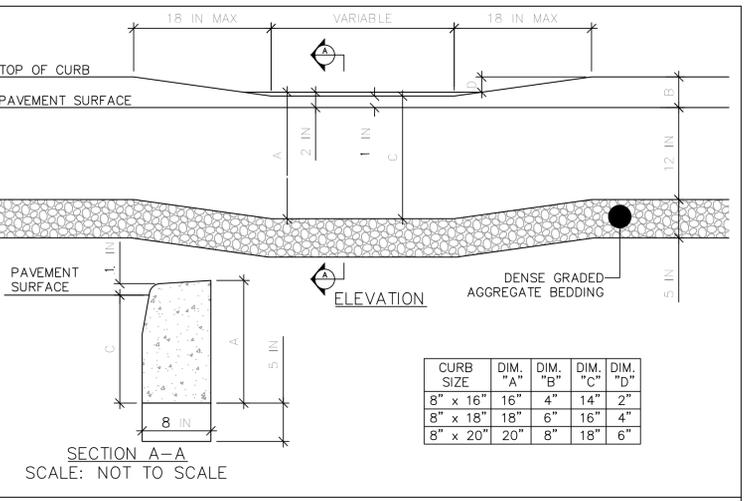
PROPOSED ASPHALT PAVEMENT SECTION (LOT 85) NTS



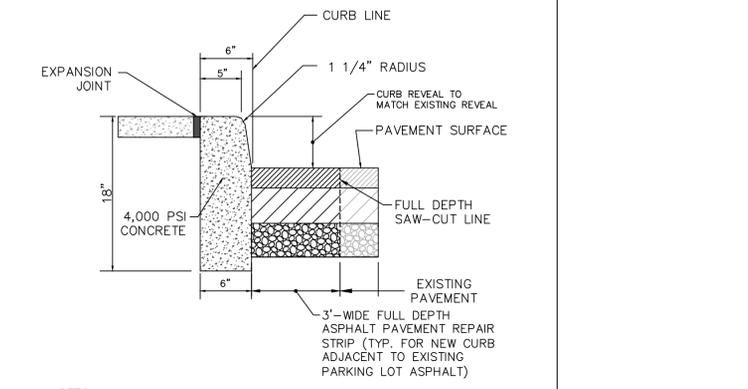
SWING GATE NTS



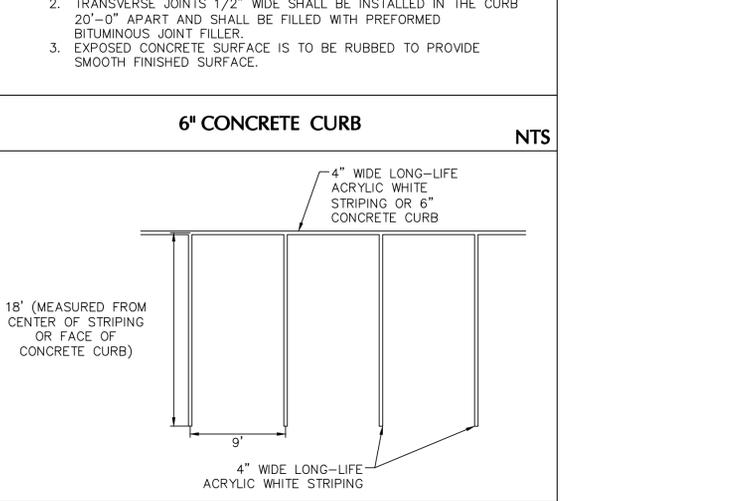
CHAIN LINK FENCE NTS



DEPRESSED CURB NTS



6\"/>



CAR PARKING STRIPING NTS

| Date | Description | No. |
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| Revisions | | |
| | | |
| | 3/31/2025 | |
| | CHRISTOPHER M. CIRROTTI | DATE SIGNED |
| | PROFESSIONAL ENGINEER | |
| | NJ LIC. No. 24GE03853800 | |

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NJ Certificate of Authorization No. 24GA27996400

Project
BLOOMFIELD MGP PARKING
BLOCK NO. 305, LOT NO. 5.01 & 5.02
BLOK NO. 306, LOT NO. 55, 57, 62, 64 & 85
BLOOMFIELD
ESSEX COUNTY NEW JERSEY

Drawing Title
CONSTRUCTION DETAILS

| | |
|---------------------------------|-----------------------------|
| Project No. 101019901 | Drawing No. CS501 |
| Date 12/11/2024 | |
| Drawn By SLA | |
| Checked By PGM | |
| Sheet 5 of 5 | |