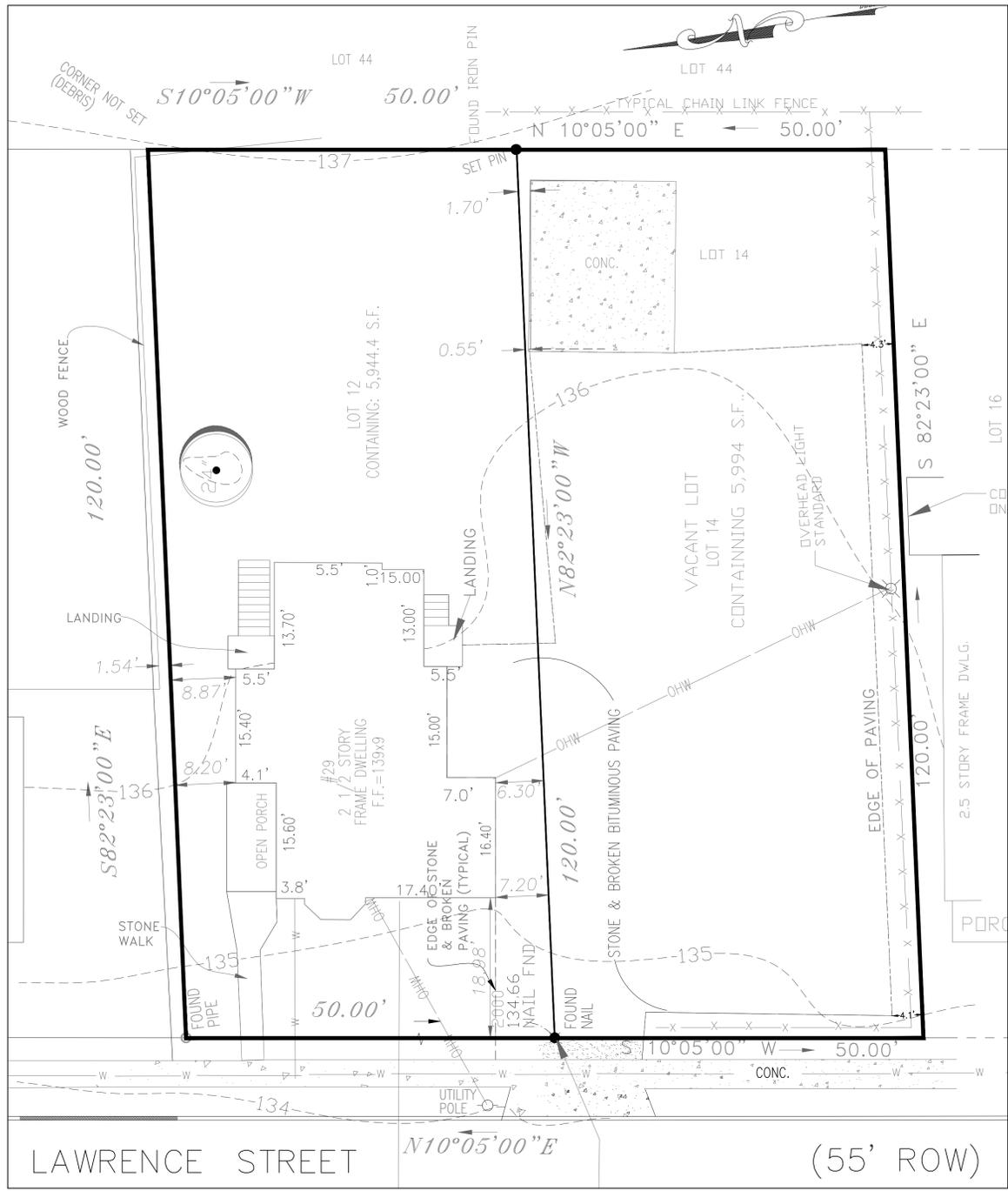
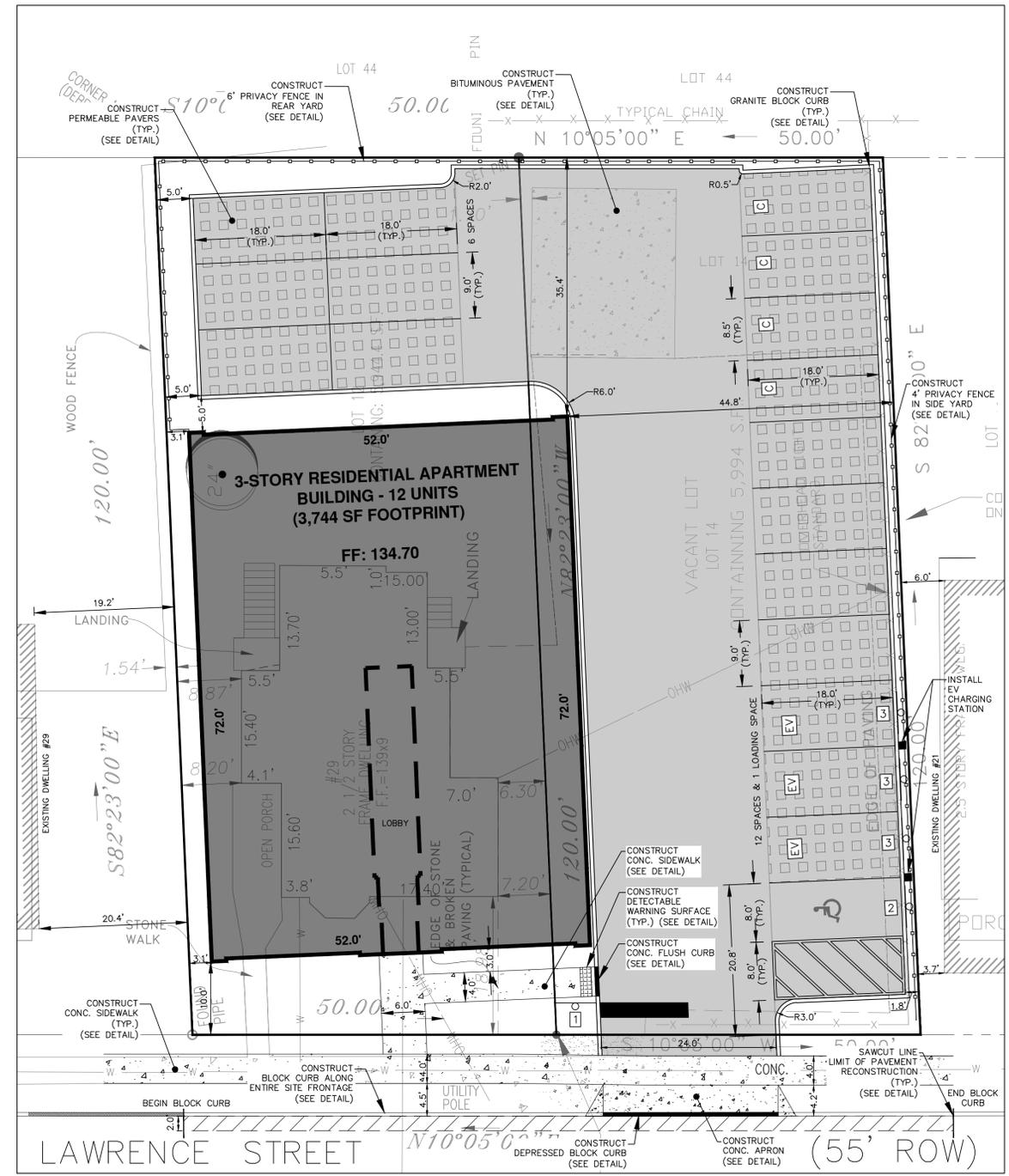




SIGN & STRIPING LEGEND		
1	R1-1	STOP SIGN
2	R7-8 & 8B	HANDICAP PARKING
3		ELECTRIC VEHICLE PARKING
C		COMPACT SPACE (8.5' X 18')
EV		ELECTRIC VEHICLE SPACE



EXISTING CONDITIONS



PROPOSED CONDITIONS

NOTES:

- TRASH SHALL BE WHEELED FROM THE TRASH ROOM TO THE CURB BY STAFF MEMBERS FOR MUNICIPAL PICK UP.
- SNOW REMOVAL WILL BE PERFORMED BY STAFF OR BY PRIVATE CONTRACTOR. SNOW WILL BE STORED IN OPEN AREAS ON-SITE FOR SMALLER STORMS, BUT MAY REQUIRE OFF-SITE HAULING FOR LARGER STORMS.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

REFERENCES:  
 1. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED BOUNDARY & TOPOGRAPHIC SURVEY, FOR LOTS 1, 12, 14, 40, BLOCK 94 TOWNSHIP OF BLOOMFIELD, COUNTY OF ESSEX, NEW JERSEY SIGNED BY PHILIP SCHAEFER P.L.S. DATED 7/24/2018 AND LAST REVISED 6/11/2020.  
 2. ARCHITECTURAL INFORMATION TAKEN FROM PLANS PREPARED BY ORESTES VALELLA, A.I.A., AND DATED 8/23/2024.

**PETRY ENGINEERING, LLC**  
 100 SPANGLER AVENUE • FARMFIELD • NEW JERSEY • 07004  
 TEL: (973) 227-7004 FAX: (973) 227-7974  
 PETRYENGINEERING.COM

REV	DESCRIPTION	DATE
1	FOR SUBMISSION TO ZONING BOARD	09/09/24

0 5 10 20  
1 INCH = 10 FT.

CHECKED BY: JMP  
 DRAFTED BY: LCD

**PETRY ENGINEERING, LLC**

J. MICHAEL PETRY-PE, PP, RA  
 NJ PROFESSIONAL ENGINEER LIC. No. 36862  
 DATE: 08/27/2024

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR  
**3X LAWRENCE, LLC**  
 25 LAWRENCE STREET  
 LOTS 12 & 14, BLOCK 94  
 TOWNSHIP OF BLOOMFIELD  
 ESSEX COUNTY, NEW JERSEY

TITLE: <b>LAYOUT PLAN</b>
PROJECT #: <b>24-200</b>
SHEET: <b>SP-2</b>



**DUST CONTROL NOTES**

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST

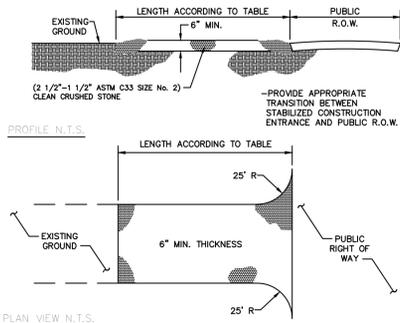
- MULCHES** - SEE STANDARD FOR STABILIZATION WITH MULCHES ONLY (PG. 5-1).
- VEGETATIVE COVER** - SEE STANDARD FOR TEMPORARY VEGETATIVE COVER (PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION (PG. 4-1) AND PERMANENT STABILIZATION WITH SOD (PG 6-1).
- SPRAY-ON ADHESIVES** - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

MATERIAL	WATER DILUTION	TYPE OF NOZZEL	APPLY GALLONS/AC RE
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300
POLYACRYLAMIDE (PAM) SPRAY ON/DRY SPRAY	APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD (PG. 26-1)		
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200

- TILLAGE** - TO TOUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE IF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, AND SPRING TOOTHED HARROWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
- SPRINKLING** - SITE IS SPRINKLED UNTIL SURFACE IS WET.
- BARRIERS** - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY, AND SIMILAR MATERIALS CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.
- CALCIUM CHLORIDE** - SHALL BE IN THE FORM OF LOOSE, DRY GRANULATES OF FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP THE SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAMS, OR ACCUMULATION AROUND PLANTS.

**SOIL COMPACTION EXEMPTION NOTE**

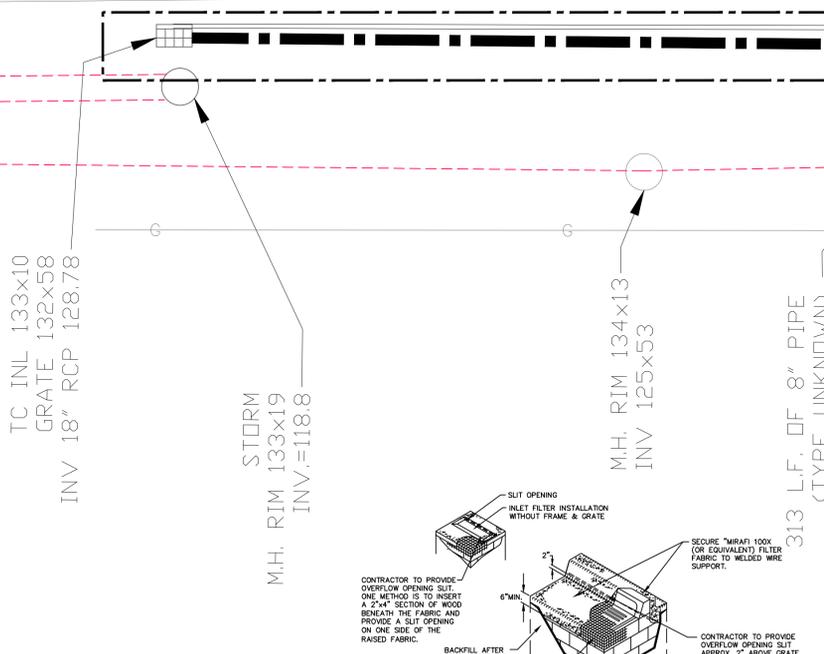
AS DETERMINED BY THE STATE POLICY MAP, THE PROJECT AREA FALLS WITHIN THE METROPOLITAN PLANNING AREA (PA1), UNDER EXISTING CONDITIONS, THE SITE IS NOT COVERED IN WOODY VEGETATION NOR REGROWTH. IN ACCORDANCE WITH NEW JERSEY STANDARD FOR LAND GRADING (REVISED 2017), NON WOODY VEGETATED PA1 AREAS FALL UNDER THE SOIL COMPACTION EXEMPTION LIST AS A "URBAN REDEVELOPMENT" AND IS DEFINED BY NJDEP AS "PREVIOUSLY DEVELOPED".



PERCENT SLOPE OF ROADWAY	LENGTH OF STONE REQUIRED	
	COURSE GRAINED SOILS	FINE GRAINED SOILS
0 TO 2%	50 FT.	100 FT.
2 TO 5%	100 FT.	200 FT.
> 5%	ENTIRE SURFACE STABILIZED WITH FABC BASE COURSE	

**STABILIZED CONSTRUCTION ACCESS DETAIL**

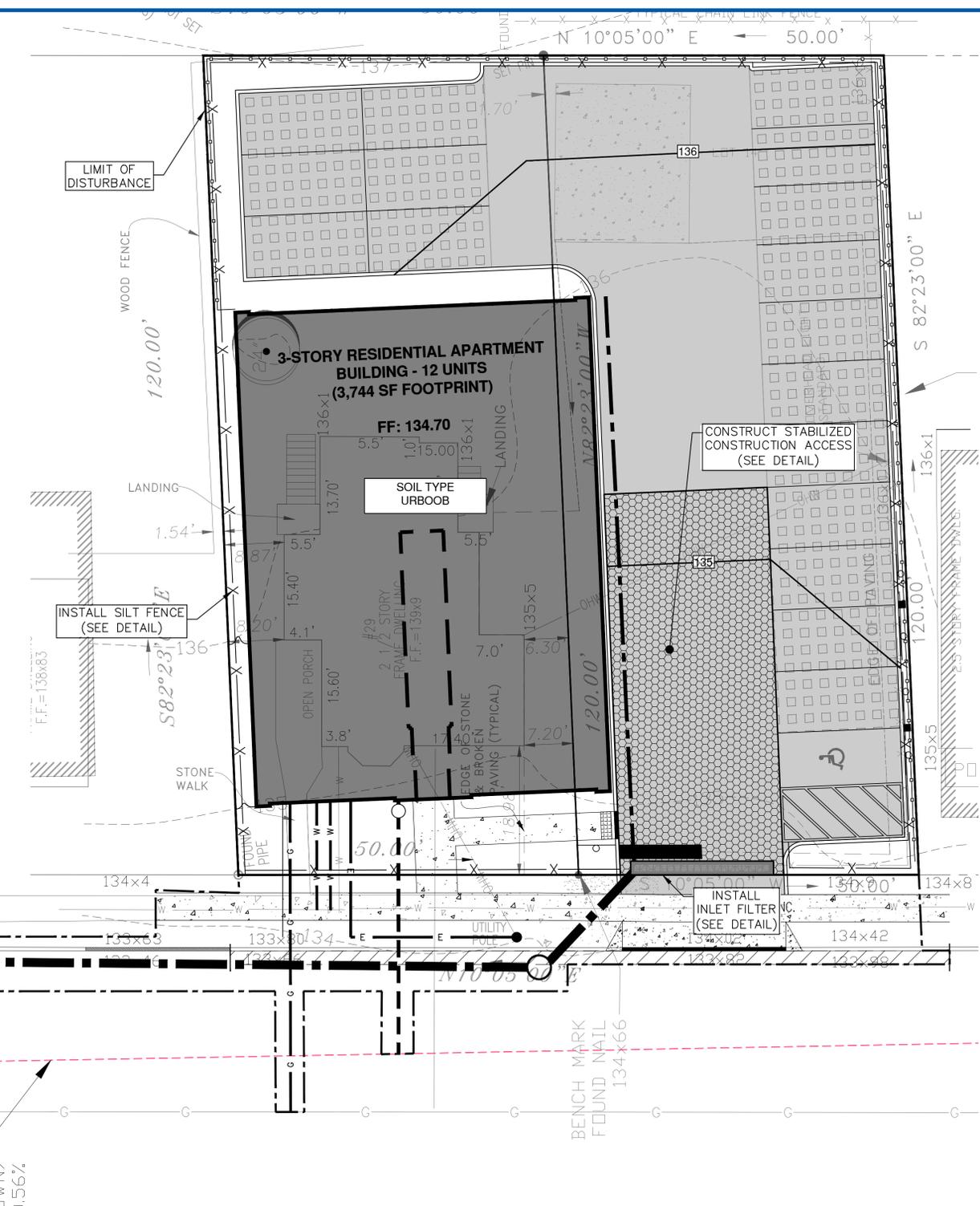
SCALE N.T.S.



- REFERENCES:**
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED BOUNDARY & TOPOGRAPHIC SURVEY, FOR LOTS 1, 12, 14, 40, BLOCK 94 TOWNSHIP OF BLOOMFIELD, COUNTY OF ESSEX, NEW JERSEY SIGNED BY PHILIP SCHAEFFER P.L.S. DATED 7/24/2018 AND LAST REVISED 6/11/2020.
  - ARCHITECTURAL INFORMATION TAKEN FROM PLANS PREPARED BY ORESTES VALELLA, A.I.A., AND DATED 8/23/2024.

**INLET FILTER DETAIL**

SCALE N.T.S.



**SILT FENCE DETAIL**

SCALE N.T.S.

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

(To be included on the signed erosion control plan sheet)

- All soil erosion and sediment control practices on this plan will be constructed in accordance with the "New Jersey Standards for Soil Erosion and Sediment Control" 7th Edition last revised July 2017, effective December 2017. These measures will be installed prior to any major soil disturbance or in their proper sequence and maintained until permanent protection is established.
- Soil to be exposed or stockpiled for a period of greater than 14 days, and not under active construction, may be required to be temporarily mulched, and seeded or otherwise provided with vegetative cover as per Appendix A3. This temporary cover shall be maintained until such time where permanent revegetation is established.
- Seeding Dates:** The following seeding dates are recommended to best establish permanent vegetative cover within most locations in the HEPSCD: Spring - 3/1-5/15 and Fall - 8/15-10/1.
- Sediment fences are to be properly trenched and maintained until permanent vegetative covers are established.
- All storm drainage inlets shall be protected by one of the practices accepted in the Standards, and protection shall remain until permanent stabilization has been established. Storm drainage outlet points shall be protected as required before they become functional.
- Mulch materials shall be un-rotted small grain straw applied at the rate of 70 to 90 pounds per 1,000 square feet and anchored with a mulch anchoring tool, liquid mulch binders, or setting the down. Other suitable materials may be used if approved by the Soil Conservation District.
- All erosion control devices shall be periodically inspected, maintained and corrected by the contractor. Any damage incurred by erosion shall be rectified immediately.
- The Hudson-Essex-Passaic Soil Conservation District will be notified in writing at least 48 hours prior to any soil disturbing activities. Fax: (963) 343-4007 OR email: [INFO@HATONHEPSCD.ORG](mailto:INFO@HATONHEPSCD.ORG)
- The applicant must obtain a District Issued Report of Compliance prior to applying for the Certificate of Occupancy or Temporary Certificate of Occupancy from the respective municipalities, NJ DECA or any other controlling agency. Contact the District at 862-333-4505 to request a Final Inspection, giving advanced notice upon completion of the stabilization measures. A performance deposit may be posted with the District when winter weather or snow cover prohibits the proper application of seed, mulch, fertilizer or otherwise.
- Paved roadways must be kept clean at all times. Do not utilize a fire or garden hose to clean roads unless the runoff is directed to a properly designed and functioning sediment basin. Water pumped out of the excavated areas contains sediments that must be removed prior to discharging to receiving bodies of water using removable pumping stations, sump pits, portable sedimentation tanks and/or silt control bags.
- All surfaces having iron or landscaping as final cover are to be provided topsoil prior to re-seeding, sodding or planting. A depth of 50 inches, firm in place, is required as per the Standards for Topsoil and Land Grading, effective December 2017.
- All plan revisions must be submitted to the District for proper review and approval.
- A crushed stone wheel cleaning tracking pad is to be installed at all site exits using 2 1/2" - 1" crushed angular stone (ASTM 2 or 3) to a minimum length of 50 feet and minimum depth of 6". All drive ways must be provided with crushed stone until paving is complete.
- Steep slopes incurring disturbance may require additional stabilization measures. These "special" measures shall be designed by the applicant's engineer and approved by the Soil Conservation District.
- The Hudson-Essex-Passaic Soil Conservation District shall be notified, in writing, for the site of any portion of the project for the sale of land (final lot). New owners' information shall be provided. Additional measures deemed necessary by District officials shall be implemented as conditions warrant.

**TEMPORARY STABILIZATION**

SOILS EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, SHALL BE SEED & HAY MULCHED AND STABILIZED WITH TEMPORARY VEGETATIVE COVER OR OTHER APPROVED.

- STREETS, DRIVEWAYS AND PARKING AREAS NOT SCHEDULED FOR PAVING WITHIN THE ALLOTTED TIME FRAME SHALL BE STABILIZED USING PAVEMENT SUBBASE COURSE. THIS SUBBASE COURSE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING.
- ALL AREAS NOT SCHEDULED FOR PAVING SHALL RECEIVE A TEMPORARY SEEDING IMMEDIATELY FOLLOWING ROUGH GRADING.
- APPLY FERTILIZER AT A RATE OF 500 LBS./ACRE OR 11 LBS./1,000 SF. OF 10-20-10 EQUIVALENT. APPLY LIMESTONE AT A RATE OF 2 TONS/ACRES.
- WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES UNTIL UNIFORM.
- TEMPORARY SEEDING WILL BE A MIX OF ANNUAL RYEGRASS OR PERENNIAL RYEGRASS AT A RATE OF 100 LBS./ACRE OR 1 LB./1,000 SF.
- UN-ROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT A RATE OF 1-1/2 TO 2 TONS/ACRE (70 TO 90 LBS./1,000 SF).

**PERMANENT STABILIZATION**

- ALL AREAS NOT SCHEDULED FOR CONSTRUCTION OR LANDSCAPING TO BE STABILIZED USING SEED MIXTURE NO. 13 CONSISTING OF HARD FESCUE AND/OR CHEWING FESCUE AT A RATE OF 175 LBS./ACRE (4 LBS./1,000 SF), STRONG CREEPING RED FESCUE PERENNIAL RYEGRASS & KENTUCKY BLUEGRASS (BLEND), BOTH AT A RATE OF 45 LBS./ACRE (1LB/1000 SF)
- UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO SPREAD TOPSOIL AT A RATE OF 500 LBS./ACRE OR 11 LBS./1,000 SF OF 10-10-10 EQUIVALENT.
- WORK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF 4 INCHES UNTIL UNIFORM.
- REMOVE ALL SURFACE DEBRIS AND STONES 2 INCHES OR LARGER.
- UN-ROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT A RATE OF 1-1/2 TO 2 TONS/ACRE (70 TO 90 LBS./1,000 SF).
- INSPECT SEEDBED JUST BEFORE SEEDING IF TRAFFIC HAS LEFT THE SOIL COMPACTED. THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.
- A DEPTH OF 5 INCHES OF TOPSOIL (FIRMED IN PLACE) IS REQUIRED FOR ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER.

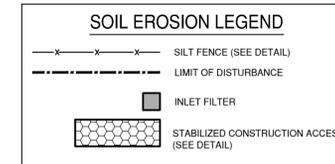
**SOIL LEGEND**

SOIL INFORMATION OBTAINED FROM WEB SOIL SURVEY, MAP PRINTED ON 07-12-2021

URBOOB - Urban land, Boonton substratum, 0 to 8 percent slopes, red sandstone lowland

**SEQUENCE OF CONSTRUCTION**

- INSTALL TEMPORARY EROSION CONTROL MEASURES (DURATION: APPROX. 2 DAYS)
- COMPLETE ALL DEMOLITION (DURATION: APPROX. 2 MONTHS)
- CONSTRUCTION IN ACCORDANCE WITH ARCHITECTURAL AND CIVIL DESIGN PLANS (DURATION: APPROX. 1 YEAR)
- REMOVE AND REINSTALL FILTER FABRIC AS NEEDED TO ACCOMMODATE CONSTRUCTION SEQUENCING. (DURATION: APPROX. 1 DAY)
- FINAL GRADING AND STABILIZATION (DURATION: APPROX. 2 DAYS)
- UPON STABILIZATION OF ALL AREAS, REMOVE ALL SOIL EROSION DEVICES AND CLEAN ENTIRE DRAINAGE SYSTEM. (DURATION: APPROX. 1 DAY)



TOTAL AREA OF DISTURBANCE: 15,000 SQ.FT. OR 0.344± AC.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

**PETRY ENGINEERING, LLC**  
 25 LAWRENCE STREET, SUITE 200  
 ESSEX COUNTY, NEW JERSEY 07024  
 TEL: (973) 297-7004 FAX: (973) 297-7074  
 PETRYENGINEERING.COM

1	FOR SUBMISSION TO ZONING BOARD	09/09/24
REV	DESCRIPTION	DATE

1 INCH = 10 FT.

CHECKED BY: JMP  
 DRAFTED BY: LCD

**PETRY ENGINEERING, LLC**

J. MICHAEL PETRY-PE, PP, RA  
 NJ PROFESSIONAL ENGINEER LIC. NO. 36662  
 DATE: 08/27/2024

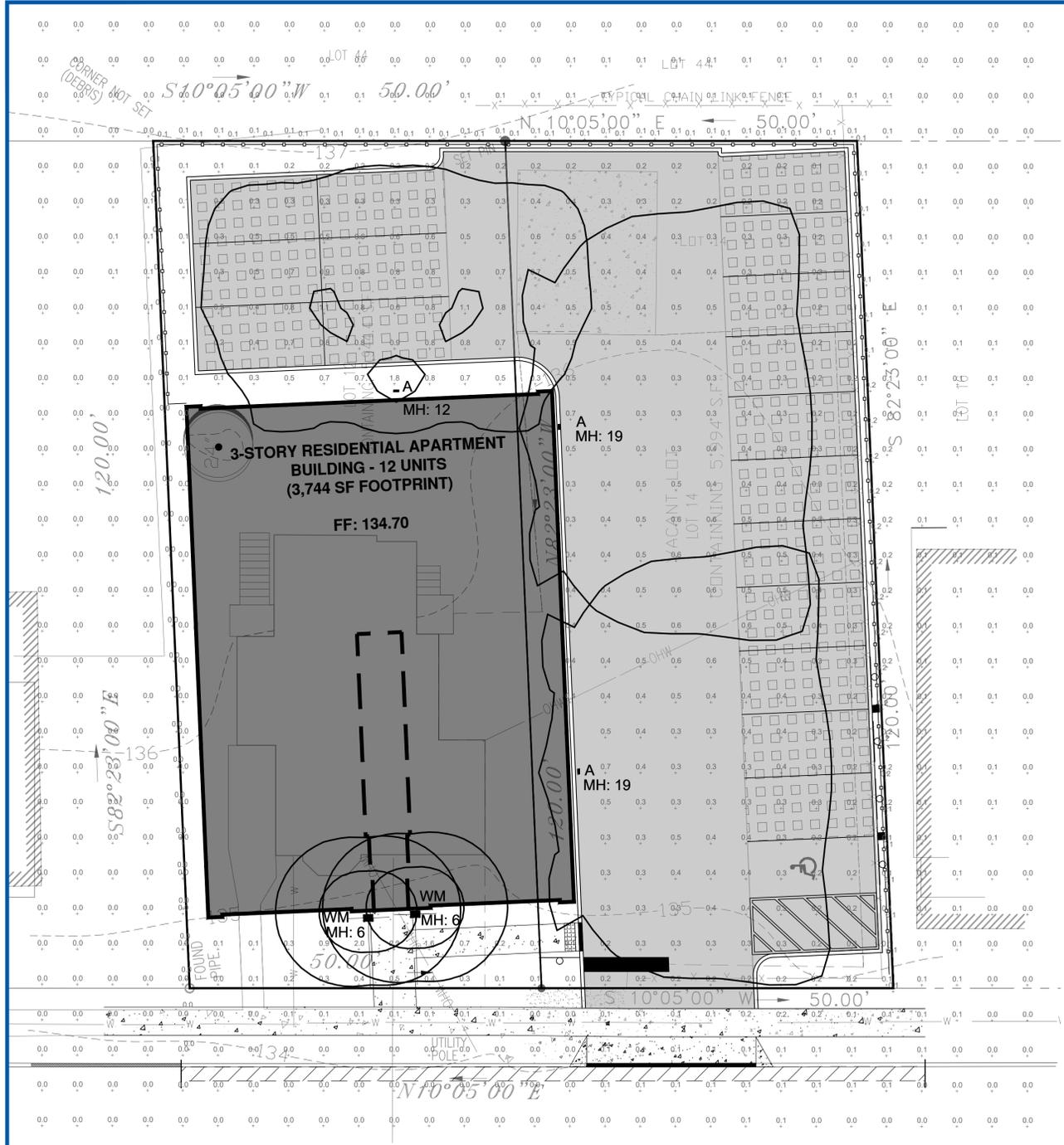
CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR  
**3X LAWRENCE, LLC**  
 25 LAWRENCE STREET  
 LOTS 12 & 14, BLOCK 94  
 TOWNSHIP OF BLOOMFIELD,  
 ESSEX COUNTY, NEW JERSEY

TITLE:  
**SOIL EROSION & SEDIMENT CONTROL PLAN**

PROJECT #:  
**24-200**

SHEET:  
**SP-4**



Symbol	Arrangement	Fixture Type	Fixture Description	[MANUFAC]	[LUMCAT]	[UNKNOWN]	LLF	Total Watts	Delivered Lumens	Filename
■	Single	WM	DECORATIVE WALL SCONE	Lumode	WP7		0.900	13,264	717	WP7.RES
■	Single	A	SMALL WALL PACK TYPE 4	EXO	LNC-TLU-SK-4	3000K	0.900	17.6	1425	LNC-TLU-SK-4.us

Label	CalcType	Units	Avrg	Max	Min	PSpctLr	PSpctB
PROPERTY LINE	Illuminance	Fc	0.09	0.2	0.0	5	N.A.
SITE TO ZERO	Illuminance	Fc	0.15	2.3	0.0	5	5
PARKING LOT	Illuminance	Fc	0.40	1.1	0.1		

Label	Area	Total Watts	LPD

Label	Type	Qty	Description

REFERENCES:  
 1. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED BOUNDARY & TOPOGRAPHIC SURVEY, FOR LOTS 1, 12, 14, 40, BLOCK 94 TOWNSHIP OF BLOOMFIELD, COUNTY OF ESSEX, NEW JERSEY, SIGNED BY PHILIP SCHAEFER P.L.S., DATED 7/24/2018 AND LAST REVISED 6/11/2020.  
 2. ARCHITECTURAL INFORMATION TAKEN FROM PLANS PREPARED BY ORESTES VALELLA, A.I.A., AND DATED 8/23/2024.

**EXO**  
OUTDOOR LIGHTING

**LNC**  
COMPACT LED LITERAK

**FEATURES**

- Compact LNC LED is designed for perimeter illumination and available in 3 lumen packages for safety, security and identity
- 3000K, 4000K, 5000K and Amber color temperatures
- Up to 41 spacing to mounting height ratio means fewer fixtures to install
- Acrylic diffuser included! Use for applications near entrances or locations where reduced brightness is desired. (Maximum spacing with diffuser 30ft)
- Die cast aluminum housing with decorative Laredo styling
- Full cut-off neighbor friendly
- Listed to UL 1598 for use in wet locations

**SPECIFICATIONS**

**CONSTRUCTION**

- Decorative die cast aluminum housing and door
- Rugged design protects internal components and provides excellent thermal management for long life
- Powder paint finishes provide lasting appearance in outdoor environments
- Full cut-off distribution. Ambient diffuser included, use for applications near entrances or locations where reduced brightness is desired

**OPTICS**

- Drivers are 120-277V, 50/60Hz Type II, III and Type IV lenses provide wide lateral spread
- 3000K - 80 CRI, 4000K - 70 CRI, and 5000K - 70 CRI, CCT nominal
- Drivers have greater than 90 power factor and less than 20% Total Harmonic Distortion

**INSTALLATION**

- Quick mount adapter provides quick installation, designed for recessed box 4" square junction box
- Minimum operating temperature is -40°C/-40°F
- 0-10V dimming 120-277V only
- LNC5L - 5 LEDs, Types II, III or IV available, see page 2 for electrical details
- LNC7L - 7 LEDs, Type II, III or IV available, see page 2 for electrical details
- LNC9L - 9 LEDs, Types II, III or IV available, see page 2 for electrical details

**CERTIFICATIONS**

- Listed and labeled to UL 1598 for wet locations, 20°C ambient environments

**WARRANTY**

- 5 year warranty

**KEY DATA**

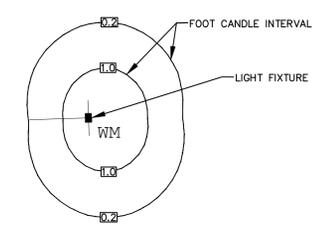
Lumen Range	800-2100
Wattage Range	13-22
Efficacy Range (LPW)	64-95
Fixture Projected Life (Hours)	1,96-60K
Weights lbs. (kg)	9.6 (24.5)

Page 1 of 8  
Rev: 01/16/23  
LNC LED Lighting, 401

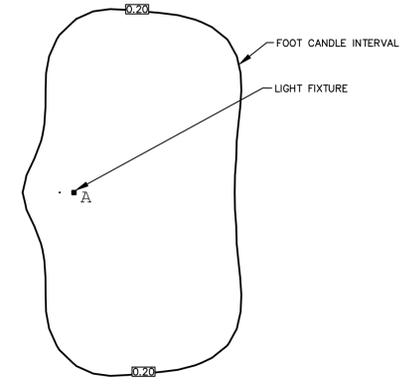
DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
 TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
 CATALOG #: \_\_\_\_\_

FIXTURE "A"  
SCALE - N.T.S.

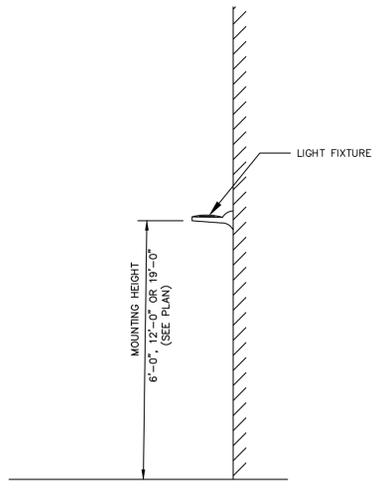
FIXTURE "WM"  
SCALE - N.T.S.



FIXTURE "WM" ISOLUX DIAGRAM  
SCALE - N.T.S.



FIXTURE "A" ISOLUX DIAGRAM  
SCALE - N.T.S.



MOUNTING HEIGHT DIAGRAM  
SCALE - N.T.S.

**Lumencia**  
Multi-Unit Residential Lighting

**LLWP7-A**  
**LLWP8-A**  
**LLWP9-A**

**Exterior Wall Sconce**  
Die-Formed Cold-Rolled Steel with Epoxy Powdercoat Finish and Acrylic shade.

**Finish:** Black (BLK).

**Dimensions:**  
 LLWP7-A: 13.3"H x 8.3"W x 3.8"E  
 LLWP8-A: 21.7"H x 8.3"W x 3.8"E  
 LLWP9-A: 30.0"H x 8.3"W x 3.8"E

**Light Source:**

- LLWP7-A: UNV/15w/665lm Delivered@30k/80CRI. Non-Dimming
- LLWP8-A: UNV/23w/1290lm Delivered@30K/80CRI. Non-Dimming
- LLWP9-A: UNV/34w/2110lm Delivered@30K/80CRI. Non-Dimming

**Options:**

- BI - Bi-Level Occupancy Sensor with Adjustable Levels<sup>^</sup>
- EM - Battery Backup with 90 minutes of runtime<sup>^</sup>

<sup>^</sup>note that BI and EM additions may require an extended back plate

**Certification/Warranty:**

- ETL/cETL Listed for Wet Locations
- Energy Star Rated
- 5 Years Limited Warranty on Driver and LED
- 1 Year Warranty on Frame and Lens from Defects.

Job Name: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Part #: \_\_\_\_\_  
 Notes: \_\_\_\_\_

Model	Color Temp.	Finish	Options
LLWP7-A	30K	BLK	Bi-Bi-level Light Option
LLWP8-A	40K	BLK	EM-Emergency Backup Light Option
LLWP9-A			

2021.10  
 Office: 267-438-3000 Fax: 267-268-5604  
 www.Lumencia.com  
 Specifications subject to change without prior notice.  
 © 2021 Lumencia. ALL RIGHTS RESERVED

**LIGHTING NOTES:**

- THE PROPOSED LIGHTING SHALL BE SET ON A DUSK TO DAWN TIMER.
- THE COLOR OF ALL PROPOSED FIXTURES AND THEIR RESPECTIVE POLES SHALL BE SELECTED BY THE OWNER.
- ANY DEVIATION FROM THE SPECIFIED LIGHTING FIXTURES SHALL BE SUBMITTED IN WRITING TO PETRY ENGINEERING LLC ALONG WITH THE ACCOMPANYING POINT BY POINT ANALYSIS AND MAY ALSO BE SUBJECT TO REVIEW AND APPROVAL BY THE BLOOMFIELD PLANNING BOARD OR THEIR DESIGNEE.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

**PETRY**  
ENGINEERING, LLC

1050 WASHINGTON AVE. • FAIRFIELD, NJ 07004  
 TEL: (973) 207-7004 FAX: (973) 207-7074  
 PETRYENGINEERING.COM

1	FOR SUBMISSION TO ZONING BOARD	09/09/24
REV	DESCRIPTION	DATE

CHECKED BY: JMP  
 DRAFTED BY: LCD

**PETRY**  
ENGINEERING, LLC

J. MICHAEL PETRY-PE, PP, RA  
 NJ PROFESSIONAL ENGINEER LIC. No. 36662  
 DATE: 08/27/2024

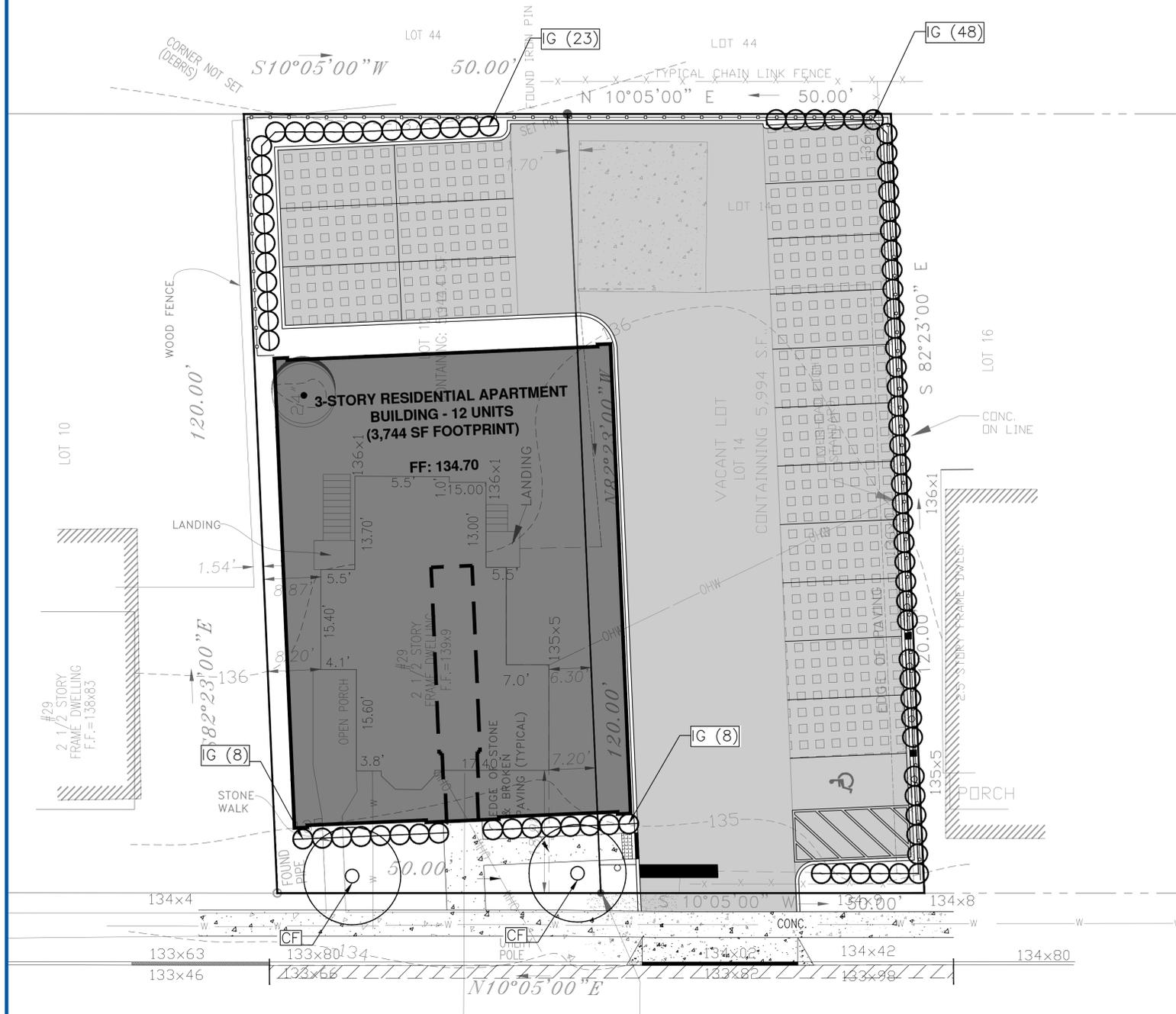
CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR  
**3X LAWRENCE, LLC**  
 25 LAWRENCE STREET  
 LOTS 12 & 14, BLOCK 94  
 TOWNSHIP OF BLOOMFIELD  
 ESSEX COUNTY, NEW JERSEY

TITLE:  
**LIGHTING PLAN**

PROJECT #:  
**24-200**

SHEET:  
**SP-5**

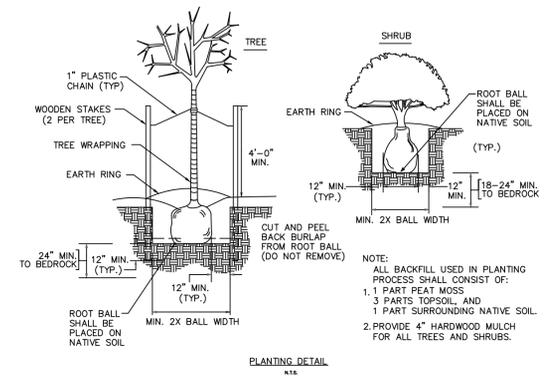


**NOTES:**

1. REASONABLE MEASURES SHALL BE TAKEN TO PROTECT MATURE TREES SLATED TO REMAIN ALONG ALL LIMITS OF DISTURBANCE THROUGHOUT CONSTRUCTION.
2. ALL LANDSCAPING SHOWN ON THE LANDSCAPING PLAN SHALL BE MAINTAINED AND ANY DEAD OR DYING TREES SHALL BE REPLACED.
3. THE LANDSCAPE PLAN SHALL INCORPORATE CHANGES OR CLARIFICATIONS, IF ANY, AS RECOMMENDED BY A CERTIFIED LANDSCAPE ARCHITECT.
4. ALL TREES EXCEPT THOSE THAT ARE SHOWN TO BE REMOVED SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION. ANY TREES WHICH ARE SLATED TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED.
5. NO TREE MAY BE REMOVED UNTIL AFTER INSTALLATION BY THE APPLICANT OF STORMWATER MANAGEMENT AND SOIL EROSION CONTROL MEASURES.

**PLANTING NOTES:**

1. ALL PLANTS TO BE NURSERY GROWN AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM PLANTING.
2. ALL PLANTS AND ENTIRE SHRUB BEDS TO RECEIVE 3" LAYER OF SHREDDED HARDWOOD BARK MULCH.
3. SEE SOIL EROSION AND SEDIMENT CONTROL PLAN FOR TEMPORARY AND PERMANENT SEEDING FOR SITE STABILIZATION.
4. TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL ACTIVITIES RELATED TO CONSTRUCTION, TO INCLUDE ANY IMPACTED AREAS NOT SHOWN ON PLANS. CONTRACTOR TO FIELD VERIFY AREAS OF SEED.
5. TOPSOIL SHALL BE SANDY LOAM; FREE FROM SUBSOIL, STONES LARGER THAN 1", OR ANY UNDESIRABLE MATERIAL; 4% ORGANIC MATTER; pH 5.0 TO 6.5.
6. PLANTS SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS THEY BORE TO THE EXISTING GRADE. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL.
7. LOCATE GUY WIRES SO THAT THEY WILL NOT PULL CROTCH APART.
8. AREAS NOT DIRECTLY RELATED TO DEVELOPMENT WILL BE RETAINED IN THEIR NATURAL STATE.
9. ALL DECIDUOUS TREES SHALL HAVE A MINIMUM CALIPER OF 3.0 INCHES MEASURED AT A HEIGHT OF 4.5 FT. ABOVE THE TOP OF THE ROOT BALL AT THE TIME OF PLANTING.
10. ALL CONIFEROUS TREES SHALL HAVE A MINIMUM HEIGHT OF 8.0 FEET MEASURED ABOVE THE TOP OF THE ROOT BALL AT THE TIME OF PLANTING.
11. NEW PLANTING ARE TO BE ADJUSTED AS REQUIRED TO AVOID CONFLICTS WITH EXISTING TREES, NEW OR EXISTING UTILITIES, HARDSCAPE, OR OTHER INFRASTRUCTURE.
12. TREES LOCATED CLOSER THAN 3' TO THE CURBS SHALL BE LOCATED ON PARKING LOT STRIPING.



PLANTING SCHEDULE					
DECIDUOUS TREE, UNDERSTORY/SHRUBS, AND GROUND COVER					
SYM	BOTANICAL NAME	COMMON NAME	SIZE/TYPE	SPACING	NUMBER
CF	CORNUS FLORIDA	FLOWERING DOGWOOD	2.5" D.B.H./#68	15' C.C.	2
IG	ILEX GLABRA 'SHAMROCK'	INKBERRY	#3 CAN	3' C.C.	87

**REFERENCES:**  
1. BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION TAKEN FROM A CERTAIN MAP ENTITLED BOUNDARY & TOPOGRAPHIC SURVEY, FOR LOTS 1, 12, 14, 40, BLOCK 94 TOWNSHIP OF BLOOMFIELD, COUNTY OF ESSEX, NEW JERSEY SIGNED BY PHILIP SCHAEFER P.L.S. DATED 7/24/2018 AND LAST REVISED 6/11/2020.  
2. ARCHITECTURAL INFORMATION TAKEN FROM PLANS PREPARED BY ORESTES VALELLA, A.I.A., AND DATED 8/23/2024.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

REV	DESCRIPTION	DATE
1	FOR SUBMISSION TO ZONING BOARD	09/09/24

0 5 10 20  
1 INCH = 10 FT.

CHECKED BY: J.M.P.  
DRAFTED BY: L.C.D.

**PETRY**  
ENGINEERING, LLC

J. MICHAEL PETRY-PE, PP, RA  
NJ PROFESSIONAL ENGINEER LIC. No. 36662  
DATE: 08/27/2024

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

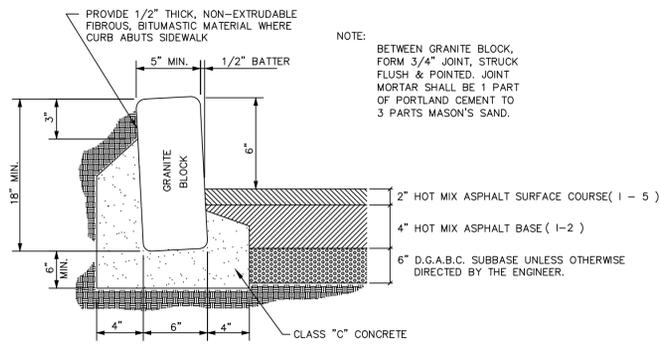
PREPARED FOR  
**3X LAWRENCE, LLC**  
25 LAWRENCE STREET  
LOTS 12 & 14, BLOCK 94  
TOWNSHIP OF BLOOMFIELD  
ESSEX COUNTY, NEW JERSEY

TITLE:  
**LANDSCAPING PLAN**

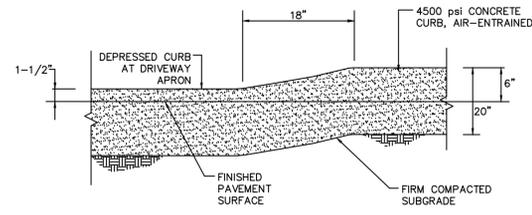
PROJECT #:  
**24-200**

SHEET:  
**SP-6**

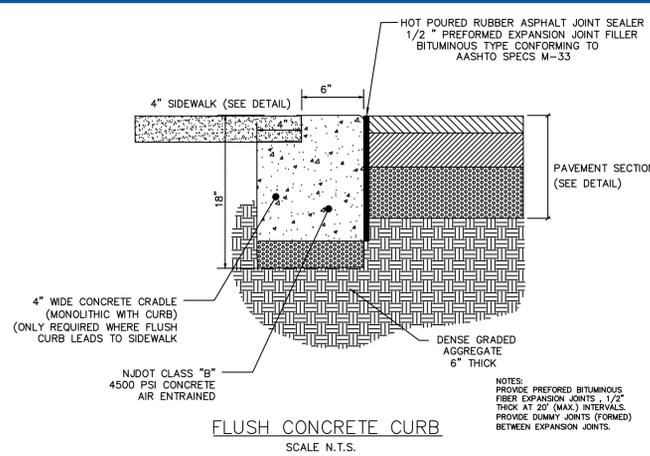




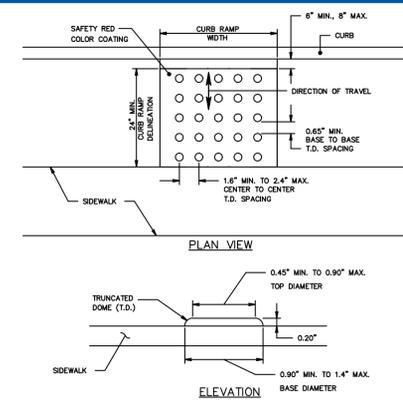
**GRANITE BLOCK CURB & PAVEMENT DETAIL**  
SCALE N.T.S.



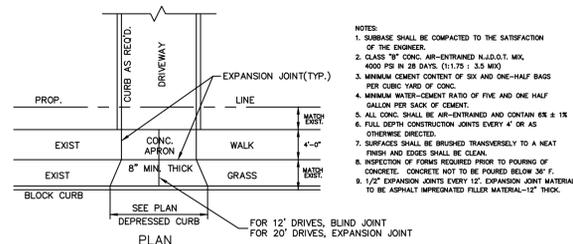
**DEPRESSED BLOCK CURB**  
SCALE - N.T.S.



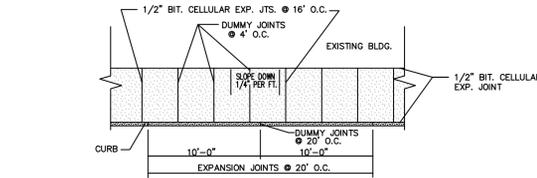
**FLUSH CONCRETE CURB**  
SCALE N.T.S.



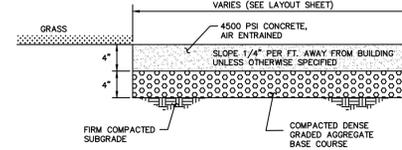
**DETECTABLE WARNING SURFACE**  
SCALE N.T.S.



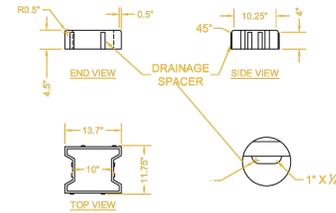
**CONCRETE APRON DETAILS**  
SCALE - N.T.S.



**CONCRETE SIDEWALK PLAN**  
SCALE N.T.S.



**CONCRETE SIDEWALK SECTION**  
(NOT TO SCALE)

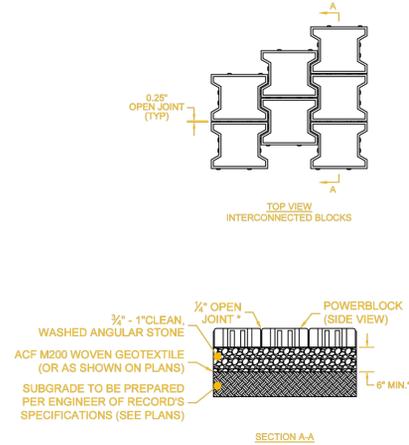


SPECIFICATIONS	
SURFACE INFILTRATION RATE	1,000 IN/HR AVG.
OPEN JOINT WIDTH	0.25 IN
JOINT FILLER BETWEEN BLOCKS*	NONE ALLOWED

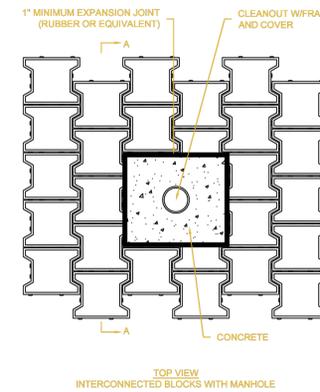
  

** RECOMMENDED STONE BASE DEPTHS	
DEPTHS LISTED BELOW ARE SUBJECT TO CBR TESTS AND THE DESIGN ENGINEER'S SUBGRADE SUPPORT CALCULATIONS.	
PEDESTRIAN TRAFFIC	6"-8" MIN.
PASSENGER VEHICLE TRAFFIC	12" MIN.
INDUSTRIAL TRAFFIC	18" MIN.

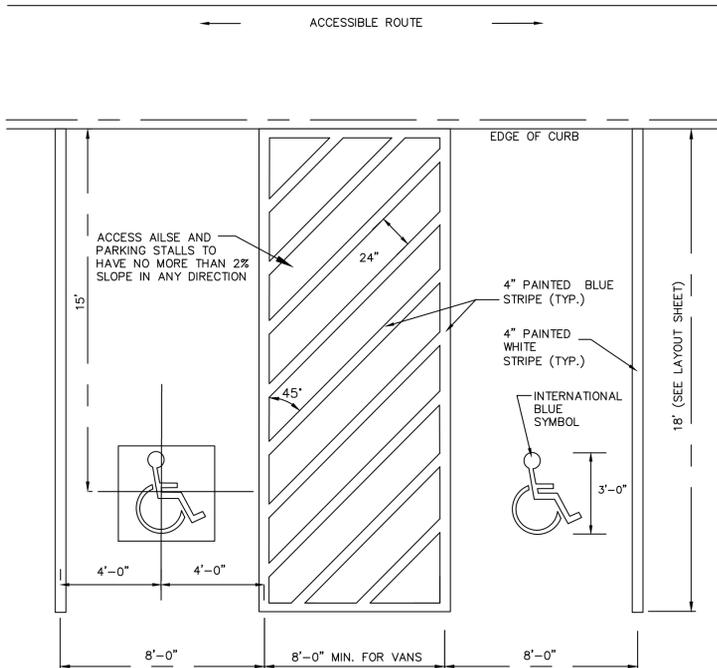
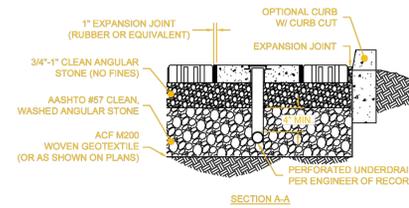
**PERMEABLE PAVER PATIO DETAIL**  
(NOT TO SCALE)



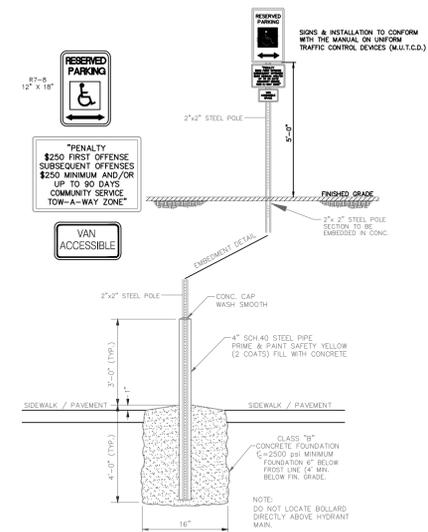
SECTION A-A  
 1/2" CLEAN STONE  
 WASHED ANGULAR STONE  
 ACF M200 WOVEN GEOTEXTILE (OR AS SHOWN ON PLANS)  
 SUBGRADE TO BE PREPARED PER ENGINEER OF RECORD'S SPECIFICATIONS (SEE PLANS)  
 6" MIN.



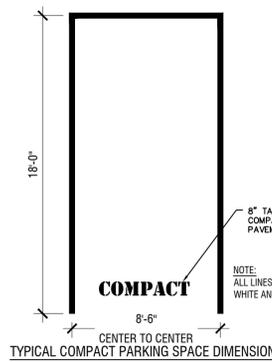
**PERMEABLE PAVER PATIO UNDERDRAIN DETAIL**  
(NOT TO SCALE)



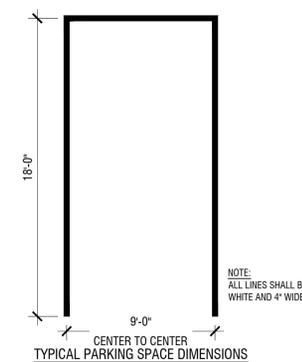
**HANDICAP PARKING DIMENSION**  
SCALE - N.T.S.



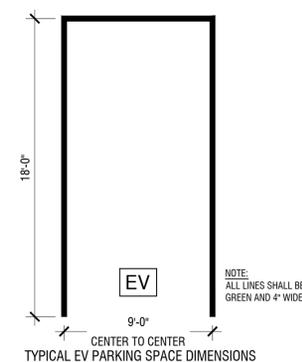
**HANDICAP PARKING DIMENSION AND SIGN**  
(SCALE - N.T.S.)



**TYPICAL COMPACT PARKING SPACE DIMENSIONS**  
NOT TO SCALE



**TYPICAL PARKING SPACE DIMENSIONS**  
NOT TO SCALE



**TYPICAL EV PARKING SPACE DIMENSIONS**  
NOT TO SCALE

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.



REV	DESCRIPTION	DATE
1	FOR SUBMISSION TO ZONING BOARD	09/09/24

CHECKED BY: JMP  
 DRAFTED BY: LCD



J. MICHAEL PETRY-PE, PP, RA  
 NJ PROFESSIONAL ENGINEER LIC. No. 36662  
 DATE: 08/27/2024

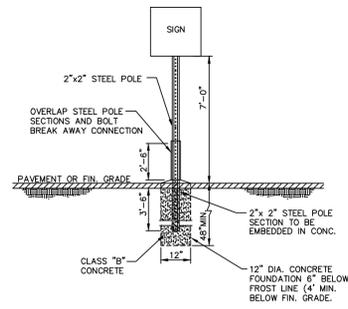
CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR  
**3X LAWRENCE, LLC**  
 25 LAWRENCE STREET  
 LOTS 12 & 14, BLOCK 94  
 TOWNSHIP OF BLOOMFIELD  
 ESSEX COUNTY, NEW JERSEY

TITLE:  
**CONSTRUCTION DETAILS**

PROJECT #:  
**24-200**

SHEET:  
**SP-8**

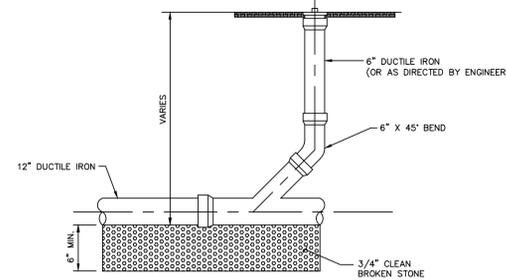


STANDARD SIGNS  
SCALE - N.T.S.

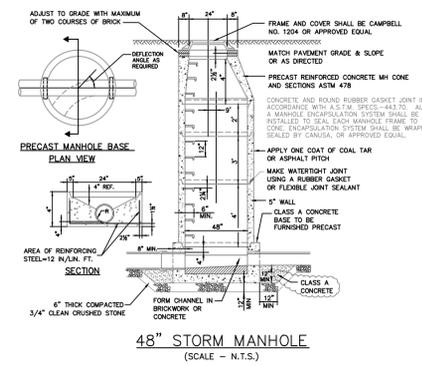


D9-11B  
N.T.S.

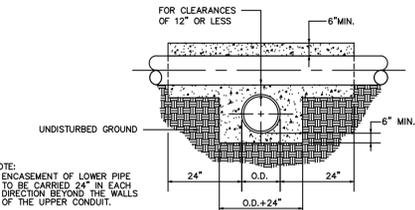
STANDARD SIGN  
SCALE - N.T.S.



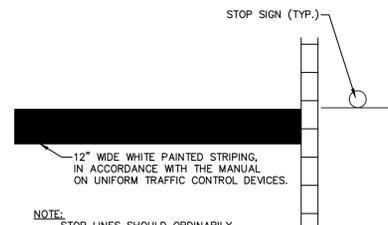
CLEAN OUT  
SCALE - N.T.S.



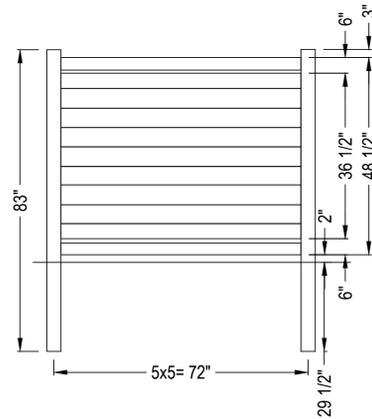
48" STORM MANHOLE  
SCALE - N.T.S.



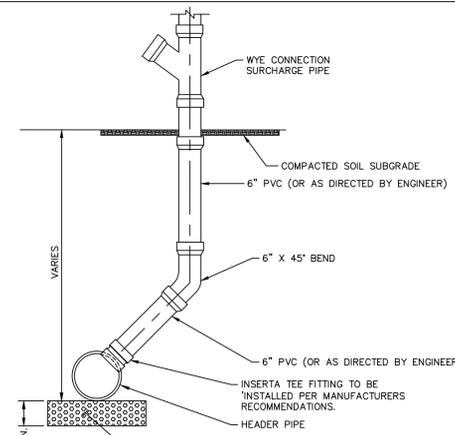
UTILITY CROSSING  
SCALE - N.T.S.



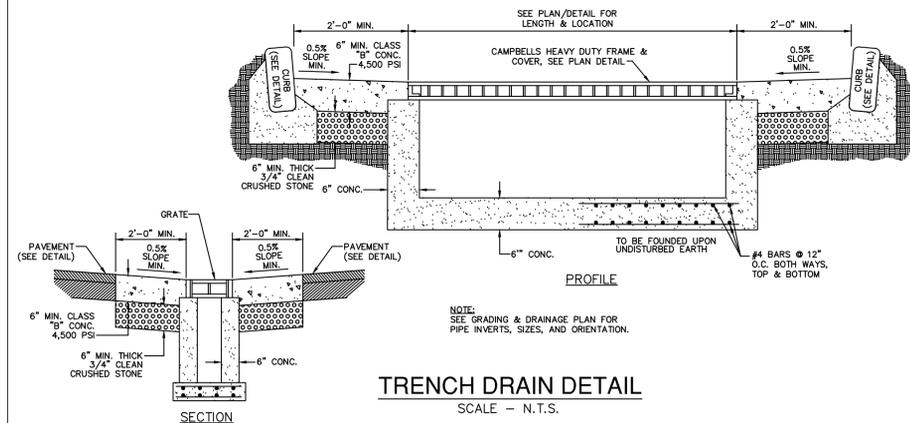
"STOP BAR" DETAIL  
SCALE N.T.S.



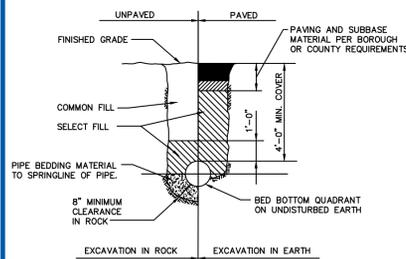
4" HIGH HORIZONTAL PVC  
FENCE PANEL



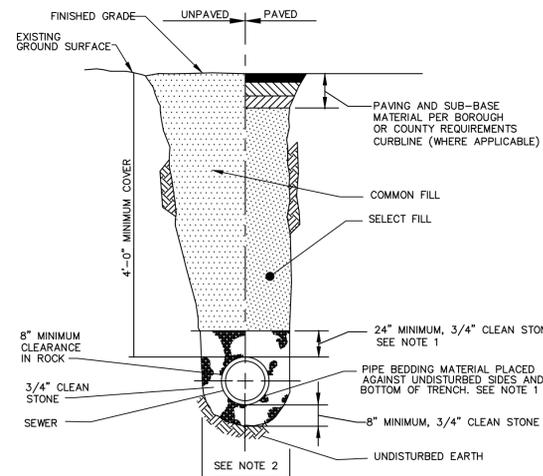
ROOF LEADER DRAIN  
SCALE N.T.S.



TRENCH DRAIN DETAIL  
SCALE - N.T.S.

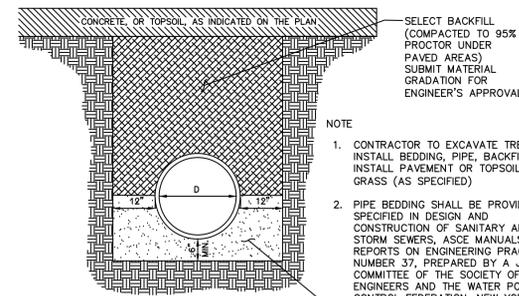


TYPICAL TRENCH DETAIL FOR UTILITIES  
SCALE - N.T.S.



- NOTES:
- FOR PIPES OTHER THAN PVC, SELECT FILL MAY BE USED FROM MID-DIAMETER OF PIPE TO 12" ABOVE TOP OF PIPE.
  - PIPE TRENCH WIDTH SHALL BE PIPE O.D. +2'-0" MAXIMUM FOR PIPES 12" AND LARGER, FOR PIPES LESS THAN 12", TOTAL PIPE TRENCH WIDTH SHALL BE 3'-0".
  - TRENCHES LOCATED ON ROAD SHOULDER SHALL BE TREATED THE SAME AS STREET EXCEPT FOR PAVING.
  - PROVIDE AT LEAST ONE IMPERVIOUS DAM IN GRAVEL BEDDING BETWEEN EACH MANHOLE OR EVERY 300 FT. WHICHEVER IS LESS.

TYPICAL TRENCH DETAIL FOR  
6" PVC SDR-35 SEWER PIPE  
SCALE - N.T.S.



STORM SEWER TRENCH DETAIL  
SCALE - N.T.S.



REV	DESCRIPTION	DATE
1	FOR SUBMISSION TO ZONING BOARD	09/09/24

CHECKED BY: JMP  
DRAFTED BY: LCD



J. MICHAEL PETRY-PE, PP, RA  
NJ PROFESSIONAL ENGINEER LIC. No. 36862  
DATE: 08/27/2024

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OR AN ELECTRONIC SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.

PREPARED FOR  
**3X LAWRENCE, LLC**  
25 LAWRENCE STREET  
LOTS 12 & 14, BLOCK 94  
TOWNSHIP OF BLOOMFIELD  
ESSEX COUNTY, NEW JERSEY

TITLE:  
**CONSTRUCTION  
DETAILS**

PROJECT #:  
**24-200**

SHEET:  
**SP-9**

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE UNDERSIGNED PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT.