

LAND DEVELOPMENT

315 Attachment 6

Township of Bloomfield

Standard Development Application

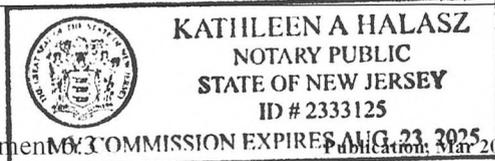
Township of Bloomfield Standard Development Application				
TO BE COMPLETED BY TOWNSHIP STAFF ONLY				
Date Filed:		Date Deemed Complete:		Application No:
GENERAL INSTRUCTIONS: To the extent possible, applicant shall complete every question. When completed, this application shall be submitted to the Planning Board Secretary (if an application to the Planning Board) or the Zoning Officer (if an application to the Board of Adjustment). The proper application and escrow fees must accompany the application. Do not advertise for a public hearing until you are advised to do so by the Board.				
Indicate to which Board application is being made:				
<input checked="" type="checkbox"/> <i>Planning Board</i>		<input type="checkbox"/> <i>Board of Adjustment</i>		
Indicate all approvals and variances being sought:				
<input type="checkbox"/> <i>Informal Review</i>	<input checked="" type="checkbox"/> <i>Prelim. Major Site Plan</i>		<input type="checkbox"/> <i>Interpretation</i>	
<input checked="" type="checkbox"/> <i>Bulk Variance(s)</i>	<input checked="" type="checkbox"/> <i>Final Major Site Plan</i>		<input type="checkbox"/> <i>Fill or Soil Removal Permit</i>	
<input type="checkbox"/> <i>Use Variance</i>	<input type="checkbox"/> <i>Prelim. Major Subdivision</i>		<input type="checkbox"/> <i>Waiver of Site Plan Requirements</i>	
<input type="checkbox"/> <i>Conditional Use Variance</i>	<input type="checkbox"/> <i>Final Major Subdivision</i>			
<input type="checkbox"/> <i>Minor Site Plan</i>	<input type="checkbox"/> <i>Appeals from Decision of Admin. Officer</i>			
<input type="checkbox"/> <i>Minor Subdivision</i>	<i>(attach the denial/decision)</i>			
1. APPLICANT				
Name CBD Bloomfield Developer Urban Renewal LLC			Address 75 Eisenhower Parkway, Suite 180	
City Roseland	State NJ	Zip 07068	Telephone 973-852-1700	Fax
2. PROPERTY OWNER (if other than applicant)				
Name The Church of the Sacred Heart, Bloomfield			Address 76 Broad Street	
City Bloomfield	State NJ	Zip 07003	Telephone 973-535-4430	Fax
3. SUBJECT PROPERTY (attach additional sheets if necessary)				
Street Address 675-699 Bloomfield Avenue; 34-40 State Street; 14 State Street		Block(s) and Lot(s) Numbers Block 244, Lots 10, 41 & 46 (f/k/a Block 244, Lots 10, 15, 41, 42 & 46)		
Site Acreage and Square Footage 96,922 SF (2.23 ac)		Zone District(s) Redevelopment Plan for Block 244, Lots 10, 15, 41,42 and 46		Tax Sheet Nos. 11

BLOOMFIELD CODE

Present Use See attached project narrative				
Proposed Development Name and Nature of Use See attached project narrative				
Number of New Buildings 1	Square Feet of New Building(s) Footprint: 59,129 SF Gross SF of the residential building: 186,273 SF	Height 69.60' (6 stories)	% of Lot to be Covered by Buildings 61.8%	
% of Lot to be Covered by Pavement 26.0%	Number of Parking Spaces and Dimensions 324 total spaces (various dimensions)		Dimensions of Loading Area(s) 19.5' x 49.8'	
Exterior Construction Material/Design Brick and Fiber Cement				
Total Cost of Building and Site Improvements \$63,535,816.00	Number of Lots Before Subdivision N/A	Number of Lots After Subdivision N/A	Are Any New Streets or Utility Extensions Proposed? No	
Number of Existing Trees, Two-Inch Caliper or Greater, to be Removed +/- 4 trees	Are Any Structures to be Removed? Yes		Number of Proposed Signs and Dimensions 4 total signs <small>Bloomfield Ave Building Sign 1'-6" X 13'-6" Parking 1'-6" X 8' -11" Event Sign 1'-6" X 14'-6" Or Less East Elevation Parking 1'-6" X 8' -11"</small>	
Is Soil Removal or Fill Proposed? Specify Total in Cubic Yards. Fill proposed - +/- 500 CY		Is the Property Within 200 feet of an Adjacent Municipality? If so, which. Yes - Borough of Glen Ridge		
4. Are there any existing or proposed deed restrictions or covenants? Please detail. Existing: None Proposed: Declaration of Covenants and Restrictions as to Sacred Heart Redevelopment Project Premises, the form of which is Exhibit B to the Redevelopment Agreement				
5. HISTORY OF PAST APPROVALS <input type="checkbox"/> Check here if none				
	APPROVED	DENIED	DATE	
<i>Subdivision</i>	Unknown			
<i>Site Plan</i>	Unknown			
<i>Variance(s)</i>	Unknown			
<i>Building Permit</i>	Unknown			
6. APPLICANT'S ATTORNEY (if applicable)				
Name Thomas J. Trautner, Jr., Esq.		Address Chiesa Shahinian & Giantomasi PC 105 Eisenhower Parkway		
City Roseland	State NJ	Zip 07068	Telephone 973-530-2079	Fax 973-530-2279

LAND DEVELOPMENT

7. NAMES OF PLAN PREPARERS				
Engineer's Name Bradford A. Bohler, P.E.		Address Bohler Engineering 30 Independence Boulevard, Suite 200		
City Warren	State NJ	Zip 07059	Telephone 908-668-8300	License # 47421
Surveyor's Name James D. Sens, PLS, PP		Address Control Point Associates, Inc. 30 Independence Boulevard, Suite 100		
City Warren	State NJ	Zip 07059	Telephone 908-668-0099	License # 24GS04322600
Landscape Architect or Architect's Name Christopher Boone, AIA LEED AP		Address Lessard Design, Inc. PC 8521 Leesburg Pike, Suite 700		
City Vienna	State VA	Zip 22182	Telephone 571-830-1882	License # 21AI02100900
8. FEES SUBMITTED				
Application Fees		Total: \$15,375.00 Preliminary Major Site Plan: \$10,250.00 Final Major Site Plan: \$5,125.00		
Variance Fees		\$2,100.00		
Escrow Fees		Total: \$63,500 Preliminary Major Site Plan: \$40,000.00 Final Major Site Plan: \$20,000.00 Variances: \$3,500.00		
Total Fees		\$80,975.00		
CERTIFICATION				
I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual applicant or that I am an officer of the corporate applicant and that I am authorized to sign the application for the corporation or that I am a general partner of the partnership applicant. I hereby permit authorized Township officials to inspect my property in conjunction with this application.				
 Signature of Applicant		Sworn to and subscribed before me this date <u>July 1, 2024</u>		
Property Owner Authorizing Application if Other Than Applicant		 Notary Public		



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Total Fees		\$80,975.00		
CERTIFICATION				
<p>I certify that the foregoing statements and the materials submitted are true. I further certify that I am the individual applicant or that I am an officer of the corporate applicant and that I am authorized to sign the application for the corporation or that I am a general partner of the partnership applicant. I hereby permit authorized Township officials to inspect my property in conjunction with this application.</p>				
			Sworn to and subscribed before me this date	
			<p style="text-align: center;"><u>JUNE 29, 2024</u></p>	
Signature of Applicant				
<p><u>Rev. Nelson Q. La</u></p>		<p style="text-align: center;"> EMMANUELA P. ANDERSON NOTARY PUBLIC OF NEW JERSEY My Commission Expires <u>04/11/2027</u></p>		
Property Owner Authorizing Application if Other Than Applicant		Notary Public		

Preliminary & Final Site Plan Application of
CBD Bloomfield Developer Urban Renewal LLC
675-699 Bloomfield Avenue; 34-40 State Street and 14 State Street
Bloomfield, New Jersey

Project Narrative
July 2024

Present Use:

The subject property is currently a vacant structure owned by the Sacred Heart Church. The building is located along Bloomfield Avenue and State Street and is situated on approximately 2.0 acres. The building was constructed in 1911 and was formerly utilized by the church as a learning center.

Proposed Development Name and Nature of Use:

CBD Bloomfield Developer Urban Renewal LLC (the “**Applicant**”) hereby applies to the Township of Bloomfield Planning Board for preliminary and final major site plan approval along with bulk variance approval and waivers for a six-story mixed-use project consisting of 200 residential apartments, leasing office space, lobby and amenity space, event space and 324 parking spaces (inclusive of both garage spaces and surface parking spaces). The subject property consists of Block 244, Lots 10, 41, and 46 (f/k/a Block 244, Lots 10, 15, 41, 42 and 46) (the “**Property**”). The Applicant is the long-term lessee of the Property and is not under contract to purchase any adjoining lands. The Property is located in the Sacred Heart Redevelopment Area and subject to the provisions of the Sacred Heart Redevelopment Plan adopted on October 30, 2023 (the “**Redevelopment Plan**”). The Applicant has been designated as the Redeveloper of the Property and on April 15, 2024, the Applicant, the Mayor and Council of the Township of Bloomfield and the Church of the Sacred Heart, Bloomfield entered into a Redevelopment Agreement with respect to the Property.

The Applicant seeks the following bulk variance relief:

1. To permit an aisle width of 22 feet, whereas 24 feet is required pursuant to Section 315-30.O.(6) of the Land Development Ordinance of the Township of Bloomfield (the “**LDO**”);
2. To permit a driveway and parking setback of 0 feet, whereas 5 feet is required pursuant to Section 315-30.O.(8) of the LDO;
3. To permit a building overhang setback for certain balconies of 4.8 feet from Block 244, Lot 8, whereas 10 feet is required pursuant to Section III.B.(2)(b) of the Redevelopment Plan;

4. To permit a building overhang setback for certain balconies of 14.9 feet from Block 244, Lots 43, 44 and 45, whereas 20 feet is required pursuant to Section III.B.(2)(f) of the Redevelopment Plan;
5. To permit 73 compact spaces, whereas 62 compact spaces are permitted pursuant to Section 315-30.O.(6) of the LDO¹;
6. To permit some lighting fixtures to not provide a shield, whereas lighting is required to be shielded pursuant to Section IV.A.(4) of the Redevelopment Plan and
7. To permit canopies to extend into the Bloomfield Avenue right-of-way by 4.5 feet, whereas 0 feet is required pursuant to Section III.B.(2)(a) of the Redevelopment Plan.

In addition, the Applicant seeks a *de minimis* exception from the provisions contained in the Residential Site Improvement Standards Act (“RSIS”) as they pertain to the number of required parking spaces as the Applicant proposes 324 spaces (which, when combined with credits for electric vehicle spaces totals 356 effective parking spaces) and RSIS requires 395 parking spaces.

The Applicant also seeks the following design waiver relief:

1. A design waiver from the requirements of Section 315-29.F.(1) of the LDO as no buffering is being proposed adjacent to Block 244, Lot 45;
2. A design waiver from the requirements of Section 315-30.C.(1)(a) of the LDO as no buffering is being proposed adjacent to Block 244, Lot 45;
3. A design waiver from Section 315-30.C.(2) of the LDO as this Applicant is not proposing to plant evergreen shrubs;
4. A design waiver from Section 315-30.L.(7) of the LDO to permit less street trees than required;
5. A design waiver from Section 315-30.O.(4) of the LDO as no buffering is being proposed adjacent to Block 244, Lot 45;
6. A design waiver from Section 315-30.F.(2)(g)[8] of the LDO to permit a footcandle illumination of 9.8 along the western property line, whereas 0.1 footcandle is permitted; and
7. A design waiver from Section 315-30.F.(2)(a) of the LDO to permit certain proposed light fixtures to not provide a shield.

¹ The Applicant is complying with the Redevelopment Plan requirements for compact spaces for residents, but the Applicant is exceeding the total compact spaces permitted by the LDO in order to provide additional parking spaces at the Church’s request in the surface parking lot.

Outside Agency Approvals:

The following is a list of required outside agency approvals that the Applicant will obtain as a condition of approval:

- Hudson Essex Passaic Soil Conservation District
- Essex County Planning Board
- New Jersey Department of Environmental Protection
 - Treatment Works Approval
 - Flood Hazard Verification
 - Flood Hazard Individual Permit
- Passaic Valley Sewer Authority (service connections)
- Bloomfield Water (service connections)

DISCLOSURE STATEMENT

Pursuant to N.J.S.A. 40:55D-48.1, the following is a list of all 10% or more interest holders in the Applicant (CBD Bloomfield Developer Urban Renewal LLC):

MEMBER

ADDRESS

Marshall B. Tycher

75 Eisenhower Parkway, Suite 180
Roseland, New Jersey 07068

Carl J. Goldberg

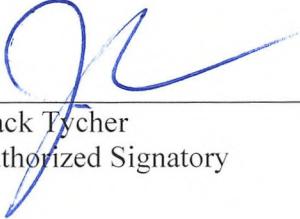
75 Eisenhower Parkway, Suite 180
Roseland, New Jersey 07068

CERTIFICATION OF APPLICANT

I hereby certify that CBD Bloomfield Developer Urban Renewal LLC is the designated redeveloper of properties designated as Block 244, Lots 10, 41 and 46 (f/k/a Block 244, Lots 10, 15, 41, 42 and 46) on the Tax Maps of the Township of Bloomfield (the “**Property**”).

I further certify on behalf of CBD Bloomfield Developer Urban Renewal LLC, as the Applicant in connection with the an application for preliminary and final major site plan approval with variance and waiver relief involving the Property, that I am familiar with the Property and the ALTA/NSPS Land Title Survey, prepared by Control Point Associates, Inc., dated May 13, 2021 and last revised June 22, 2021, consisting of two (2) sheets, accurately represents the status of the Property and all improvements located thereon at the time of filing of the application, with the exception that the Property is now designated (based upon information provided by the Township’s Tax Assessor’s Office) as Block 244, Lots 10, 41 and 46 as a result of the merger of Lot 15 into Lot 10 and Lot 42 into Lot 41.

**CBD BLOOMFIELD DEVELOPER URBAN
RENEWAL LLC,**
a limited liability company of the State of New Jersey

By: 
Name: Jack Tycher
Title: Authorized Signatory

Dated: July 1, 2024