

INTERIOR ALTERATION MEDICAL OFFICES

**230 Broad Street
Bloomfield, NJ 07003**

PROJECT ARCHITECT



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COMMISSION NO.: 23075

DATE: NOVEMBER 2023

M.E.P. ENGINEER



250 PEHLE AVENUE, SUITE 200
SADDLE BROOK, NJ 07663
T: 201-310-4991

R1 07/29/2024 - REVISION #1
PROVIDED PROPOSED SECOND FLOOR
LAYOUT

REVISION

GENERAL NOTES

ALL WORK, INCLUDING FRAMING, MASONRY, MECHANICAL, ELECTRICAL, PLUMBING, GRADING, ETC. SHALL CONFORM TO ALL STATE AND LOCAL CODES AND ORDINANCES HAVING JURISDICTION.

ALL WORK MUST COMPLY WITH THE U.C.C. REHABILITATION SUBCODE N.J.A.C. TITLE 5, CHAPTER 23 - 6, CURRENT NJ STATE CONSTRUCTION CODE (INTERNATIONAL BUILDING CODE N.J. EDITION 2021), THE NEW JERSEY ACCESSIBILITY CODE AND ICC/ANSI A117.1-2017 WHERE APPLICABLE.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, OSHA, BOCA, NFPA, AMERICAN WITH DISABILITY, STATE OR LOCAL CODE WHICH MAY APPLY.

CONTRACTOR IS RESPONSIBLE FOR COMPLETE COMPLIANCE TO ALL CODES AND ORDINANCES AS WELL AS THE ITEMS INDICATED ON THE ARCHITECTURAL DRAWINGS AND WITHIN THESE NOTES. HE SHALL PERFORM ALL WORK IN COMPLIANCE WITH ACCEPTED INDUSTRY STANDARDS AND MANUFACTURERS SPECIFICATION ALL DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT PRIOR TO START OF ANY WORK. FAILURE TO ADHERE TO THESE REQUIREMENTS WILL RELIEVE THE ARCHITECT OF ALL LIABILITY AND RESPONSIBILITY.

CONTRACTOR MUST OFFICIALLY NOTIFY THE OWNERS OF THE START AND FINISH DATE OF CONSTRUCTION AND VERIFY THAT ADEQUATE INSURANCE COVERAGE IS IN EFFECT BY BOTH THE OWNER AND CONTRACTOR. CONTRACTOR AND ALL SUB-CONTRACTORS MUST BE LICENSED AND FULLY INSURED. CONTRACTOR TO PROVIDE COPIES OF BOTH TO OWNER PRIOR TO THE START OF WORK.

THE CONTRACTOR SHALL INDEMNIFY THE HOLD HARMLESS THE ARCHITECTS AND OWNER'S THEIR AGENTS AND EMPLOYEES AS STIPULATED UNDER SECTION 4-18 OF THE GENERAL CONDITIONS, STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, A 201.

ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED.

CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND NOTIFY THE ARCHITECT WITH ANY DISCREPANCIES, PRIOR TO THE START OF ANY WORK.

DRAWINGS SHOW THE INTENT OF THE WORK, THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, PROCEDURES AND OF CONSTRUCTION; FOR THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENT TO THE WORK OF THE CONTRACTORS, OR FOR ANY FAILURE OF THE CONTRACTORS TO COMPLY WITH LAWS, RULES OR REGULATIONS.

CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT THE ARCHITECT FOR ANY CLARIFICATION DRAWINGS OR INFORMATION NEEDED, 2 WEEKS PRIOR TO CONSTRUCTION OR ORDERING OF MATERIALS.

CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY FIELD CHANGES MADE DURING CONSTRUCTION.

THE GENERAL CONTRACTOR (G.C.) MAY USE AN ALTERNATE ITEM OR MATERIAL THAN THOSE SPECIFIED IN THE CONSTRUCTION DOCUMENTS ONLY WITH THE WRITTEN APPROVAL OF BOTH THE OWNER AND ARCHITECT.

PERMITS - BUILDER RESPONSIBLE FOR PROCESSING AND PAYING FOR BUILDING PERMITS AND INSPECTIONS. PERMIT COST WILL BE DETERMINED WHEN DRAWINGS ARE SUBMITTED TO STATE, TOWNSHIP AND COUNTY AGENCIES AS REQUIRED.

CONTRACTOR SHALL OBTAIN UTILITY COMPANY PERMIT(S) AS REQUIRED PRIOR TO ANY EXCAVATION OR CONSTRUCTION (I.E., GAS, ELECTRIC, ETC.).

CONTRACTOR SHALL TAKE NECESSARY PROVISIONS TO PROTECT MATERIALS FROM DAMAGE, THEFT, WATER DAMAGE, ETC.

ALL NOTES ARE TYPICAL UNLESS OTHERWISE NOTED. (U.O.N.)

DETAILS AND SECTIONS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED AS TYPICAL IMPLY THAT ALL LIKE CONDITIONS ARE TREATED SIMILARLY.

V.I.F. = VERIFY IN FIELD

THE CONTRACTOR SHALL CORRECT ALL DEFECTS DUE TO SHRINKAGE AND SETTLEMENT UP TO ONE YEAR AFTER CERTIFICATE OF OCCUPANCY IS ISSUED.

ALL PARTITIONS AND CEILINGS TO BE INSTALLED IN COMPLIANCE WITH SEISMIC ZONE 2, IBC 2021 CODE.

ALL SHEETROCK TO BE TAPED, SPACKLED, SANDED AND PAINTED. PROVIDE ONE COAT OF PRIMER & TWO COATS OF PAINT, COLOR TO BE SELECTED BY OWNER (SHERWIN-WILLIAMS OR EQUAL).

PROVIDE WATER RESISTANT SHEETROCK IN ALL BATHROOMS AND WET AREAS AS REQUIRED.

CONTRACTOR TO PROVIDE ALLOWANCES TO OWNER FOR ALL FINISH MATERIALS. CONTRACTOR TO COORDINATE FINAL SELECTIONS BY OWNER.

ALL ITEMS OF CONSTRUCTION SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

ALL DOORS, THRESHOLDS, HARDWARE, AND CLOSURES MUST COMPLY WITH CABO/ANSI 4.13.8, 4.13.9, AND 4.13.10 RESPECTIVELY.

PROVIDE TEMPORARY HEAT TO SPACE AS REQUIRED DURING CONSTRUCTION.

PATCH EXISTING FLOOR AS REQUIRED.

FLOORING CONTRACTOR IS RESPONSIBLE TO CLEAR & PREPARE EXISTING FLOOR SURFACE TO RECEIVE NEW FLOORING, PER FLOOR FINISH PLAN. CONTRACTOR IS RESPONSIBLE TO VERIFY COMPATIBILITY OF EXISTING SURFACE & NEW ADHESIVES OF FINISHES.

CONTRACTOR TO PROVIDE INTERNATIONAL SYMBOLS OF ACCESSIBILITY AS PER LATEST CODES, ICC/ANSI A117.1 AND THE LATEST NEW JERSEY ACCESSIBILITY CODE.

ALL NEW ROOF PENETRATIONS TO BE INSTALLED & FLASHED INTO EXISTING ROOF PER ROOFING MFG'S SPECIFICATIONS.

CONTRACTOR PRIOR TO START OF WORK, TO COORDINATE THE RELOCATION OF ANY EXISTING ELECTRIC, HVAC & PLUMBING W/ NEW WORK.

LEVEL, PATCH & PREP EXIST. FLOORS AS REQUIRED TO SUIT NEW FLOOR FINISHES, FINAL SELECTION OF FINISHES BY OWNER.

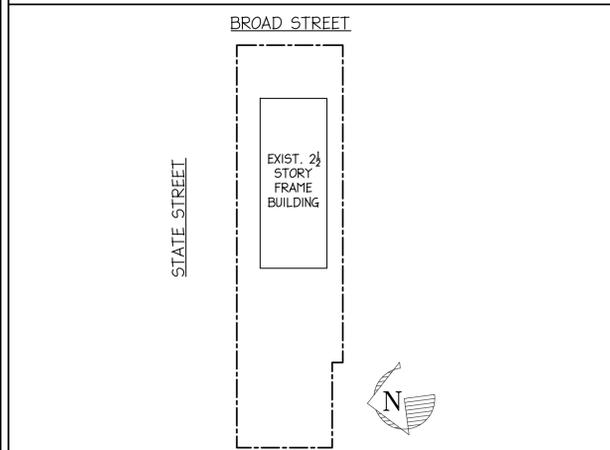
ALL WOOD BLOCK & SHEATHING TO BE FIRE RETARDANT THROUGHOUT.

CONTRACTOR TO PROVIDE NEW BUILDING SIGNAGE THROUGHOUT, INCLUDING WAYFINDING, ADA, ROOM DESIGNATIONS, LOGO/BRANDING, ETC. VERIFY WITH OWNER.

DRAWING LIST

CS-1 ARCHITECTURAL DP-101 A101 A102 A103 A201 A301 A401	COVER SHEET DEMOLITION PLAN ARCHITECTURAL PLAN REFLECTED CEILING PLAN FLOOR FINISH PLAN (NOT USED) INTERIOR WALL SECTIONS & DETAILS DOOR & ROOM FINISH SCHEDULES AND DETAILS PROPOSED SECOND FLOOR PLAN	PLUMBING P-001 P-002 P-100 P-200 P-300	PLUMBING COVER SHEET PLUMBING SPECIFICATIONS PLUMBING FLOOR PLANS PLUMBING SCHEDULES PLUMBING DETAILS	FIRE ALARM FA-001 FA-002 FA-100	FIRE ALARM COVER SHEET FIRE ALARM SPECIFICATIONS FIRE ALARM FLOOR PLAN
SK-1 MECHANICAL	MECHANICAL COVER SHEET MECHANICAL SPECIFICATIONS MECHANICAL FLOOR PLAN MECHANICAL SCHEDULES				
M-001 M-002 M-100 M-200					
ELECTRICAL E-001 E-002 E-003 E-100 E-200 E-300 E-400	ELECTRICAL COVER SHEET ELECTRICAL SPECIFICATIONS ELECTRICAL SCHEDULES ELECTRICAL POWER PLAN ELECTRICAL LIGHTING PLAN ELECTRICAL DETAILS ELECTRICAL POWER RISER DIAGRAM & PANEL SCHEDULE				

KEY PLAN (N.T.S.)



BUILDING DATA

APPLICABLE CODES:
2021 INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION
2021 NATIONAL ELECTRICAL CODE
2021 INTERNATIONAL MECHANICAL CODE
2021 INTERNATIONAL ENERGY CONSERVATION CODE, ASHRAE 90.1-2016
2021 INTERNATIONAL FUEL GAS CODE
BARRIER FREE SUBCODE (CHAPTER 11 OF IBC & NJAC 5:23-7)
ICC A117.1-2017
REHABILITATION SUBCODE - NJAC 5:23-6

BUILDING CLASSIFICATION:
USE GROUP: "B" BUSINESS
CONSTRUCTION TYPE: "V-B" FRAME
BUILDING TYPE: MIXED USE
GROUND FLOOR (AREA OF WORK): "B" BUSINESS
FIRST FLOOR (NOT IN SCOPE): "A-3" WORSHIP

BUILDING SQUARE FOOTAGE CALCULATIONS:
EXISTING GROUND FLOOR: 2,512 S.F.
TENANT SPACE: 2,221 S.F.
COMMON UTILITY AREA: 291 S.F.

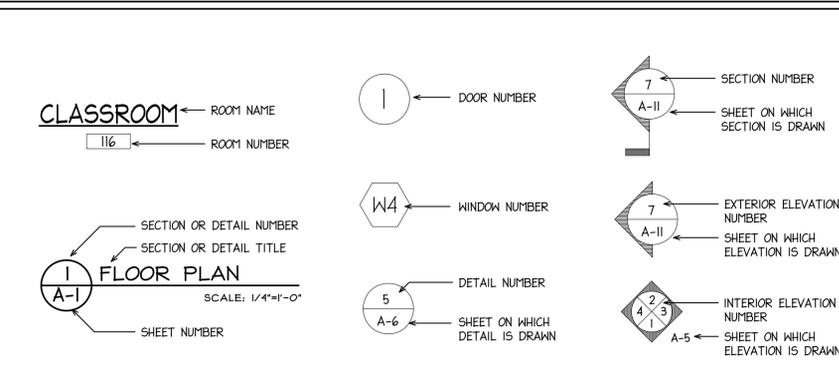
OCCUPANCY CALCULATIONS:
TENANT SPACE: (2,221 S.F. / 150 GROSS) = 15 OCCUPANTS

EGRESS CALCULATIONS:
MINIMUM NUMBER OF EXITS:
TENANT SPACE: 2 EXITS REQUIRED // 2 EXITS PROVIDED
LENGTH OF TRAVEL (WITHOUT SPRINKLER SYSTEM): 200'

PLUMBING CALCULATIONS:
B (BUSINESS) REQUIREMENTS:
1 MALE WATER CLOSET
1 FEMALE WATER CLOSET
1 MALE LAVATORY
1 FEMALE LAVATORY
1 DRINKING WATER FACILITY
1 SERVICE SINK

TOTAL PROVIDED:
1 MALE WATER CLOSET
1 FEMALE WATER CLOSET
1 MALE LAVATORY
1 FEMALE LAVATORY
1 DRINKING WATER FACILITY
1 SERVICE SINK

SYMBOLS

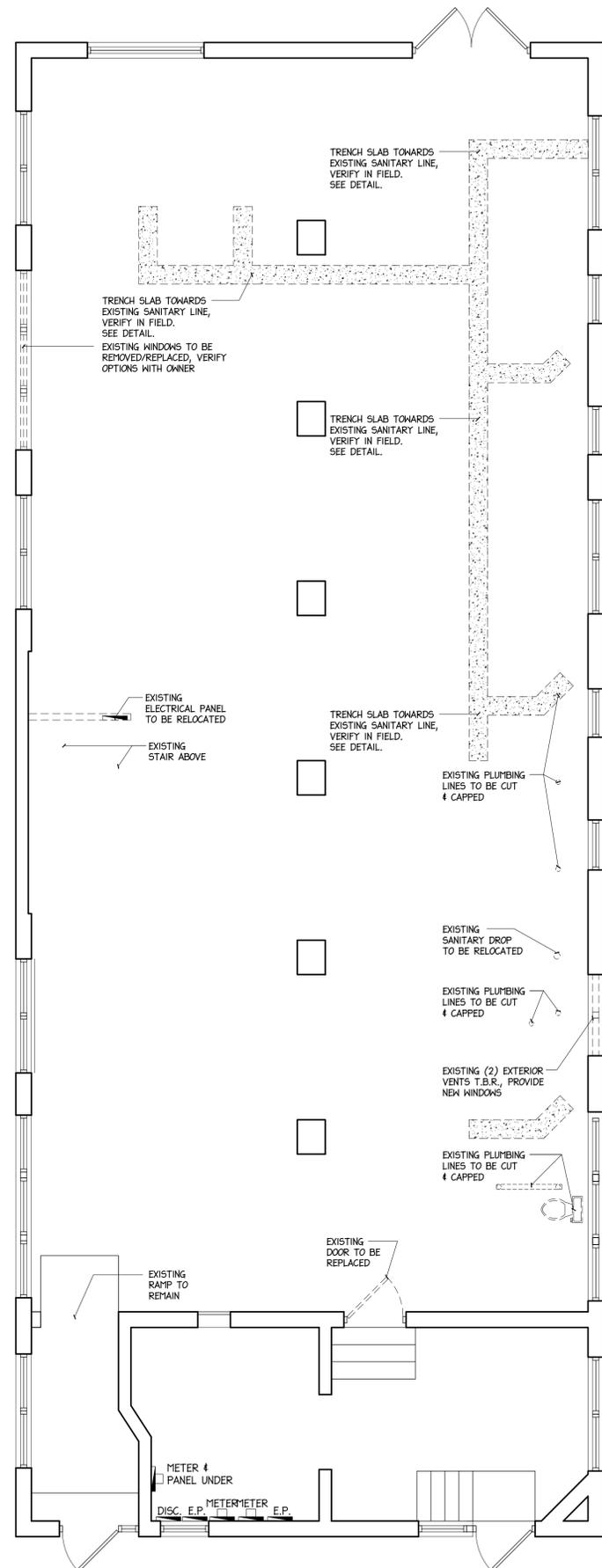


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INTERIOR ALTERATION
MEDICAL OFFICES
230 BROAD STREET
BLOOMFIELD, NJ 07003
COVER SHEET

DATE 11/03/2023	SCALE AS NOTED	DRAWN AG DR
SET TYPE BID SET		
COMMISSION 23075		
DRAWING NUMBER CS-1		



LEGEND

- INDICATES EXISTING PARTITIONS
- - - - - INDICATES DEMOLITION

DEMOLITION NOTES

DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS SO AS TO FAMILIARIZE THEMSELVES WITH OVERALL SCOPE OF THE PROJECT TO PRODUCE THE FINAL RESULT INTENDED IN THE CONTRACT DRAWINGS.

THE EXISTING STRUCTURE SHALL BE BRACED DURING ERECTION USING TEMPORARY BRACING IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF STANDARD PRACTICE, LATEST EDITION, OF AISC. THE BRACING SHALL BE DESIGNED TO TAKE CARE OF ALL LOADS TO WHICH THE STRUCTURE MAY BE SUBJECT TO INCLUDING EQUIPMENT AND THE OPERATION OF SAME. SUCH BRACING SHALL BE LEFT IN PLACE UNTIL THE ENTIRE STRUCTURE FUNCTIONS AS A UNIT OR LONGER IF REQUIRED FOR SAFETY. CONTRACTOR TO PROVIDE ALL TEMPORARY BRACING, SUPPORTS, AND SHORING TO EXISTING STRUCTURE AS REQUIRED. CONTRACTOR TO PAY FOR ALL SHORING ENGINEERING FEES AS NEEDED.

DEMOLITION CONTRACTOR SHALL INCLUDE COMPLETE REMOVAL OF ALL MATERIALS AND DEBRIS FROM SITE, LEAVING THE AREA CLEAR AND CLEAN FOR THE NEW CONSTRUCTION. CONTRACTOR MUST PROVIDE ALL BARRICADES AND PROTECTION AS REQUIRED TO INSURE SAFETY.

DEMOLITION CONTRACTOR MUST SURVEY EXISTING CONDITIONS PRIOR TO BIDDING TO REVIEW SCOPE OF WORK. CONTRACTOR TO NOTIFY OWNER & ARCHITECT WITH ANY DISCREPANCIES, QUESTIONS, COORDINATION OR EXTENT OF WORK PRIOR TO BID.

DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS & RELATED FEES.

CONTRACTOR SHALL RESTORE ALL ADJACENT SURFACES TO LIKE NEW CONDITION FOR THE ENTIRE HOMOGENEOUS SURFACE.

UTILITIES SERVING THE EXISTING BUILDING MUST BE SAFEGUARDED AGAINST DAMAGE THROUGHOUT THE DEMOLITION WORK.

BEFORE WORK IS BEGUN, IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE ALL BARRICADES, FENCES, BRACES, SHORING OR OTHER SAFETY MEASURES TO INSURE COMPLETE SAFETY DURING THIS WORK. SUCH PROTECTIVE DEVICES MUST BE MAINTAINED FOR THE DURATION OF THE WORK AND COMPLETELY REMOVED UPON COMPLETION OF THE CONTRACT BY THE CONTRACTOR.

CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, STANDARDS AND GOOD PRACTICE. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS & THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY & HOLD THE ARCHITECT OR ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

DEMOLITION AND REMOVAL OF MASONRY WALLS TO BE COORDINATED WITH NEW STRUCTURAL DRAWINGS.

REPAIR AND CLOSE-UP ANY EXISTING ABANDONED ROOF PENETRATIONS OR OPENINGS IN THE EXISTING ROOF, COORDINATE WITH ALL TRADES. MATCH EXISTING ROOF CONSTRUCTION.

REMOVE ALL EXISTING ELECTRIC NOT TO BE RE-USED (SEE MEP DRAWINGS).

MECHANICAL CONTRACTOR TO REMOVE ANY MECHANICAL EQUIPMENT AS NOTED (SEE MEP DRAWINGS).

REFER TO PLUMBING DRAWINGS FOR ALL UNDERGROUND PLUMBING.

ALL FINISHES AND DECOR ITEMS THAT ARE NOT TO BE RE-USED ARE TO BE REMOVED COMPLETELY.

SAW CUT EXISTING CONCRETE SLAB AND CAP-OFF ALL UNDER SLAB PLUMBING & ELECTRIC NOT TO BE RE-USED. PATCH SLAB AND LEVEL-OFF W/ EXISTING TO MATCH. SEE TRENCHING NOTES.

HAZARDOUS MATERIALS

THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A CERTIFIED REPORT TO IDENTIFY IF ANY MATERIALS CONTAINED WITHIN THE PREMISES ARE HAZARDOUS & REQUIRE ABATEMENT.

IF HAZARDOUS MATERIALS ARE PRESENT THE CONTRACTOR SHALL PROVIDE THE OWNER WITH MULTIPLE BIDS FOR ITS REMOVAL.

IF THE PRESENCE OF HAZARDOUS MATERIALS IS ASCERTAINED OR SUSPECTED PRIOR TO OR DURING CONSTRUCTION, IMMEDIATELY CEASE WORK IN THE IMMEDIATE AREA OF THE MATERIALS ENCOUNTERED. CONTACT THE OWNER PRIOR TO ARRANGING TO HAVE THE TOXICITY AND EXTENT OF THE MATERIALS TESTED. A DETERMINATION BY THE OWNER AND THEIR CONSULTANT(S) WILL BE MADE AS TO THE PREFERRED METHOD OF ISOLATING, REMOVING AND DISPOSING OF THE HAZARDOUS MATERIAL.

IF ABATEMENT IS REQUIRED, THE ABATEMENT MUST BE MONITORED TO SAFEGUARD THE PREMISES. ONCE ABATEMENT IS COMPLETE THE CONTRACTOR SHALL PROVIDE THE OWNER CERTIFICATION OF COMPLETION OF WORK.

TRENCHING NOTES

DO ALL NECESSARY TRENCH WORK FOR THE PROPER INSTALLATION OF THE UNDERGROUND PIPING, INCLUDING EXCAVATION AND BACKFILLING AS SPECIFIED UNDER THE SITE GENERAL CONDITIONS BELOW. COORDINATE WITH MEP DRAWINGS AND THE FOLLOWING TRENCHING REQUIREMENTS AS DESCRIBED.

1. TRENCHING INCLUDES THE REMOVAL OF MATERIALS OF EVERY NATURE AND DESCRIPTION ENCOUNTERED IN OBTAINING THE LINES AND GRADE NECESSARY FOR THE PROPER INSTALLATION OF THE COMPLETE SYSTEM.
2. TRENCHES WITHIN BUILDINGS AND STRUCTURES SHALL BE DEEP ENOUGH TO PROVIDE A MINIMUM OF 12" OF FILL BETWEEN CONDUIT AND PIPE SUPER IMPOSED CONSTRUCTION, EXCEPT AS OTHERWISE DIRECTED. TRENCHES FOR MECHANICAL WORK ON THE EXTERIOR OF THE BUILDINGS SHALL BE LOCATED ON THE FROST LINE.
3. THE BOTTOM OF TRENCHES FOR PIPES AND CONDUITS SHALL BE CAREFULLY GRADED SO AS TO PROVIDE AN EVEN BED FOR THE FULL LENGTH OF THE PIPE OR CONDUIT WITH THE BOTTOM OF THE TRENCH HOLLOWED OUT FOR EACH HUB OF BELL AND SPIGOT PIPE. WHERE TRENCH BOTTOM IS IN ROCK, PROVIDE A BED OF EARTH NOT LESS THAN 6" DEEP UNDER THE PIPES, PRIOR TO BACKFILLING, CLEAN TRENCHES OF ALL DEBRIS.
4. BACKFILL TO NOT LESS THAN 12" ABOVE THE PIPE AND CONDUIT USING SAND THAT IS FREE FROM CLAY, STONES, AND DELETERIOUS MATERIALS. CAREFULLY COMPACT AROUND PIPE AND CONDUIT. BACKFILL ABOVE 12" OVER PIPE AND CONDUIT SHALL BE PLACED IN LIFTS NOT EXCEEDING 12" COMPACT EACH LAYER TO NOT LESS THAN THE DENSITY OF THE ADJACENT UNDISTURBED SOIL. EXCEPT AS OTHERWISE SPECIFIED, COMPACT BACKFILLS IN AREAS UNDER PAVING OR STRUCTURES TO NOT LESS THAN 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. FOR TRENCHES LOCATED IN FILLS, MATERIAL AND COMPACT FOR THE BACKFILLS 12" OVER PIPE AND HIGHER SHALL CONFORM TO THE REQUIREMENTS SPECIFIED IN EXCAVATION FILLING AND GRADING.
5. CAP-OFF & SEAL ANY UNDERSLAB TRENCHING NOT TO BE RE-USED. REMOVE & FILL IF NECESSARY.
6. CONTRACTOR IS RESPONSIBLE TO PROVIDE AN INFRARED SURVEY OF ALL UNDERGROUND CONDUIT PRIOR TO CUTTING THE SLAB.
7. CONTRACTOR TO VERIFY & COORDINATE ALL TRENCHING WITH MEP DRAWINGS INCLUDING WIDTH AND DEPTHS REQUIRED. CONTRACTOR IS RESPONSIBLE FOR ALL TRENCHING WORK REQUIRED INCLUDING ALL NECESSARY TRENCHING NOT SHOWN ON THE DEMOLITION PLAN.

1 DEMOLITION PLAN
DP101 SCALE: 1/4" = 1'-0"

REVISION

ANTHONY GUZZO, AIA
KELLY NO. 12983

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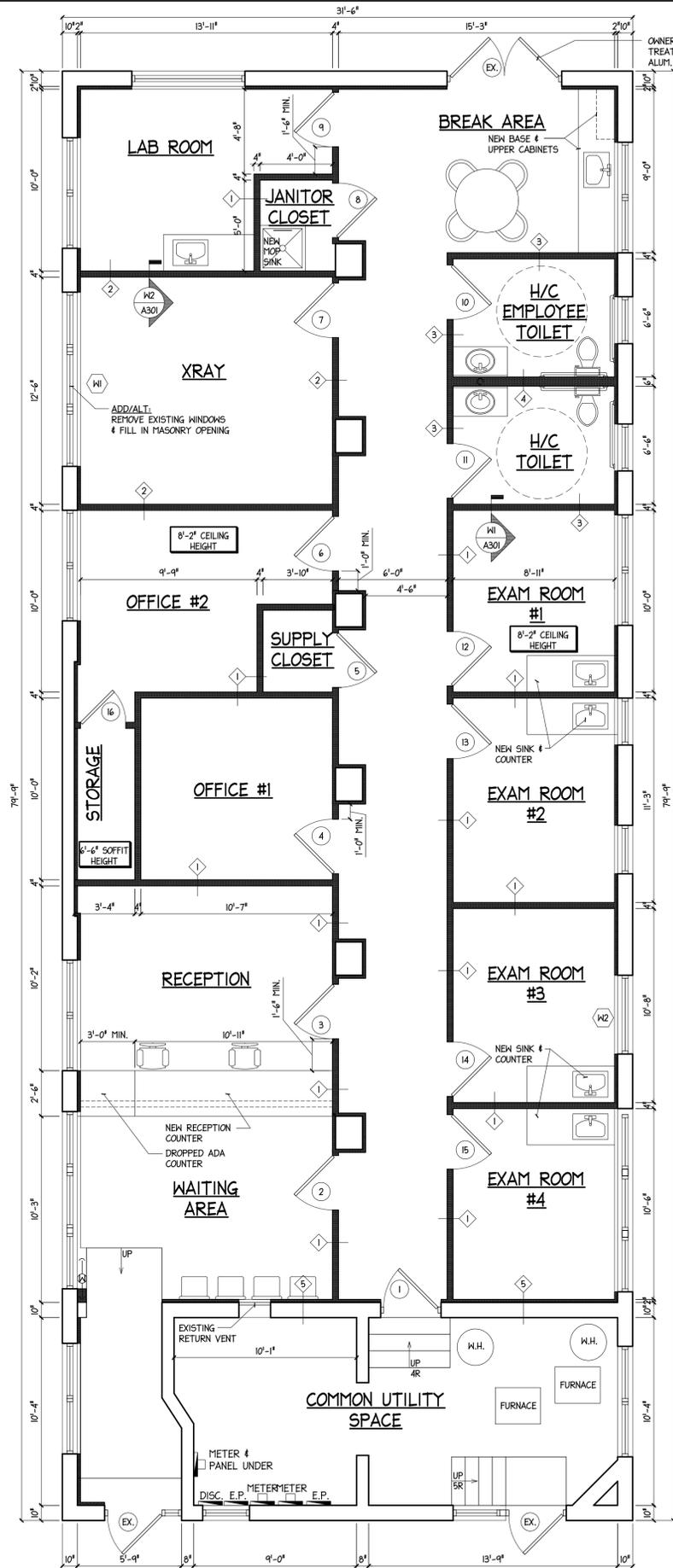
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INTERIOR ALTERATION
MEDICAL OFFICES
230 BROAD STREET
BLOOMFIELD, NJ 07003

DEMOLITION PLAN

DATE 10/26/2023	SCALE AS NOTED	DRAWN AG DR
SET TYPE PRELIMINARY		
COMMISSION		
23075		
DRAWING NUMBER DP101		



1 ARCHITECTURAL PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- INDICATES EXISTING PARTITIONS
- ▨ INDICATES NEW INTERIOR PARTITIONS 2"x4" @ 16" O.C.

GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AND NOTIFY THE ARCHITECT WITH ANY DISCREPANCIES PRIOR TO THE START OF ANY WORK.

ALL DIMENSIONS SHOWN ARE FROM FACE OF STUD OF C.M.U. TO FACE OF STUD OR C.M.U.

ALL INTERIOR WOOD BLOCKING/PLYWOOD SHALL BE FIRE RETARDANT TREATED.

ALL INTERIOR WOOD OR METAL STUD PARTITIONS ARE TO EXTEND FULL HEIGHT TO JOISTS ABOVE U.O.N.

ALL GAPS AND VOIDS ABOVE THE TOP RUNNER OF THE WALL STUDS OF RATED PARTITIONS ARE TO BE SEALED WITH FIRESTOPPING INSULATION.

ADD./ALT.: INTERIOR PARTITIONS MAY BE CONSTRUCTED WITH 20 GAUGE METAL STUDS @ 16" O.C., TYP.

XRAY ROOM NOTES

ALL RADIATION SHIELDING IS TO BE FINALIZED AND APPROVED BY AN NJDEP APPROVED RADIATION PHYSICIST PRIOR TO START OF ANY WORK.

ALL WORK IS TO COMPLY WITH ALL APPLICABLE RADIATION PROTECTION REGULATIONS PURSUANT TO N.J.A.C. 7:28

ANY LEAD LINING IS TO BE APPLIED BETWEEN SHEETROCK & STUDS.

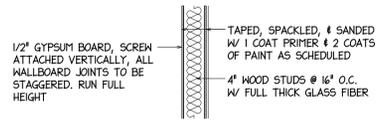
DRILL PILOT HOLES FOR SCREWS TO PREVENT DEFORMATION OF ANY APPLIED LEAD.

PROVIDE 1" MINIMUM LEAD STRIP OVERLAP AT ALL JOINTS AND CORNERS.

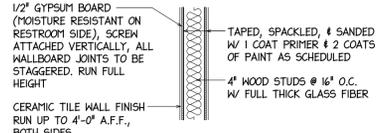
EXTEND LEAD OVERHANG AT LEAST 1" INTO ALL FRAMES OR OPENINGS.

FASTEN LEAD LINED DRYWALL TO STUDS WITH SCREWS PLACED @ 8" o.c. MAXIMUM.

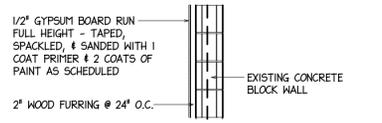
INSTALL SHEET LEAD OVER OR BEHIND ALL PENETRATIONS, CUTS, OR PUNCTURES TO ENSURE CONTINUITY OF RADIATION SHIELDING.



4" STUD WALL ASSEMBLY
TYP. STUD PARTITION



4" STUD WALL ASSEMBLY
RESTROOM STUD PARTITION



FURRING OVER MASONRY
TYPICAL FURRING STUD PARTITION

A PARTITION LEGEND
SCALE: 1/2" = 1'-0"

ELECTRICAL NOTES:

ALL WORK SHALL BE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE (NFPA 70)/2020, N.J.U.C.C., "IBC 2021" AND O.S.H.A. LATEST EDITIONS.

ELECTRICAL CONTRACTOR SHALL VERIFY FIELD CONDITIONS BEFORE SUBMITTING BID.

ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, CERTIFICATES, ETC. AS REQUIRED

ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL SERVICE AND SUB-PANELS, TO DETERMINE ITS ADEQUACY FOR NEW WORK. UPGRADE EXISTING SERVICE IF REQUIRED.

THESE DRAWINGS INDICATE THE GENERAL SCHEME OF THE INSTALLATION AND ARE DIAGRAMATIC IN SCOPE. DETAILS OF CONSTRUCTION AND OF WORKMANSHIP WHERE NOT SPECIFICALLY DESCRIBED HEREIN OR INDICATED ON THE DRAWINGS SHALL BE SUBJECT TO THE OWNER'S APPROVAL.

ELECTRICAL CONTRACTOR TO COORDINATE SERVICE WITH PUBLIC SERVICE AND GAS COMPANY. CONTRACTOR SHALL PAY ANY FEES LEVIED FOR SERVICE.

WHERE HOMERUNS EXCEED 70', USE #10 GAUGE MINIMUM WIRE SIZE TO THE FIRST OUTLET. ALL LIGHT AND POWER CONDUCTORS SHALL BE MINIMUM #12 GAUGE.

MINIMUM SIZE OF WIRE SHALL BE #12 EXCEPT CONTROL WIRING AND AS NOTED. ALL WIRE SHALL BE COPPER SERVICE ENTRANCE AND ALL UNDERGROUND WIRING SHALL BE TYPE RHW FOR WIRING IN OTHER CIRCUITS SEE THE FOLLOWING NOTES:

ALL #10 GAUGE AND SMALLER SHALL BE SOLID CONDUCTOR, COPPER, 600 VOLT INSULATION. TYPE THIN OR THW. UNLESS OTHERWISE NOTED.

ALL #8 AND #6 GAUGE SHALL BE STRANDED CONDUCTORS, COPPER, 500 VOLT INSULATION. TYPE THIN OR THW. UNLESS OTHERWISE NOTED.

WHERE WIRING IS TO BE USED IN WET LOCATIONS. TYPE THW WIRING SHALL BE USED.

ALL WIRES LARGER THAN #6 GAUGE SHALL BE STRANDED CONDUCTORS, COPPER, 600 VOLT INSULATION, TYPE XHHW OR THW. UNLESS OTHERWISE NOTED.

PANELS SHALL BE AS MANUFACTURED BY "SQUARE D" OR EQUAL, LABELED "SUITABLE FOR SERVICE ENTRANCE EQUIPMENT". COORDINATE INTERRUPTING CAPACITY OF PANELS AND ALL BREAKERS WITH UTILITY COMPANY.

GUARANTEE ALL WORK, MATERIAL AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM DATE OF APPROVAL AND FINAL ACCEPTANCE.

FIRE/SMOKE & ALARM SYSTEMS TO BE DESIGNED BY OTHERS, COORDINATE w/ OWNER.

PROVIDE ALL ELECTRICAL SYSTEM GROUNDING IN ACCORDANCE WITH THE N.E.C. REQUIREMENTS EVEN IF NOT SHOWN ON DRAWINGS. INCLUDE ADDITIONAL GROUNDING CONDUCTORS IN NONMETALLIC RACEWAYS EVEN THOUGH THE DRAWINGS SHOW ONLY CIRCUIT AND/OR NEUTRAL CONDUCTORS.

CONTRACTOR SHALL MAKE ALL FINAL CONNECTIONS TO ALL CONTROLS, OWNER SUPPLIED EQUIPMENT, MECHANICAL AND PLUMBING EQUIPMENT AS REQUIRED.

RUN ALL NEW WIRING TO EXISTING ELECTRICAL PANEL. CONTRACTOR TO VERIFY SIZE & ADEQUACY OF EXISTING SERVICE & PROVIDE NEW SERVICE & EQUIPMENT AS REQUIRED.

LIGHTING FIXTURES ARE TO BE SECURED TO THE GRID.

PROVIDE NEW OUTLETS AS INDICATED 12" ABOVE FINISHED FLOOR. VERIFY FINAL LOCATION w/ OWNER.

ALL CONDUITS PASSING THROUGH PARTITIONS ARE TO BE APPROPRIATELY SLEEVED AND SEALED.

ALL WIRE NUTS SHALL BE 3-M WIRE NUT TYPE WITH INTERIOR COPPER THREAD TYPE COILS.

ELECTRICAL CONTRACTOR SHALL PROVIDE & INSTALL SEISMIC RESTRAINTS & SUPPORTS FOR ALL FLOOR & CEILING MOUNTED ELECTRICAL EQUIPMENT TO RESET EARTHQUAKE EFFECTS DETERMINED IN ACCORDANCE WITH NEW JERSEY STATE CODES & REGULATIONS.

PROVIDE INTERCONNECTED SMOKE DETECTORS WITH EMERGENCY BATTERY BACK-UP AS REQUIRED BY CODE.

ELECTRICAL CONTRACTOR TO PROVIDE ALL OUTLETS, SWITCHES ETC., WIRED AND INSTALLED. VERIFY ALL ELECTRICAL ITEMS WITH OWNERS.

PROVIDE GROUND FAULT CIRCUIT INTERRUPT FOR ALL OUTLETS AS REQUIRED BY CODE.

TEMPORARY POWER AND LIGHT SHALL BE PROVIDED DURING THE COURSE OF CONSTRUCTION.

REVISION

ANTHONY GUZZO, AIA, N.J. REG. NO. 12993

guzzo architects

201-938-1446
201-938-1448 (FAX)

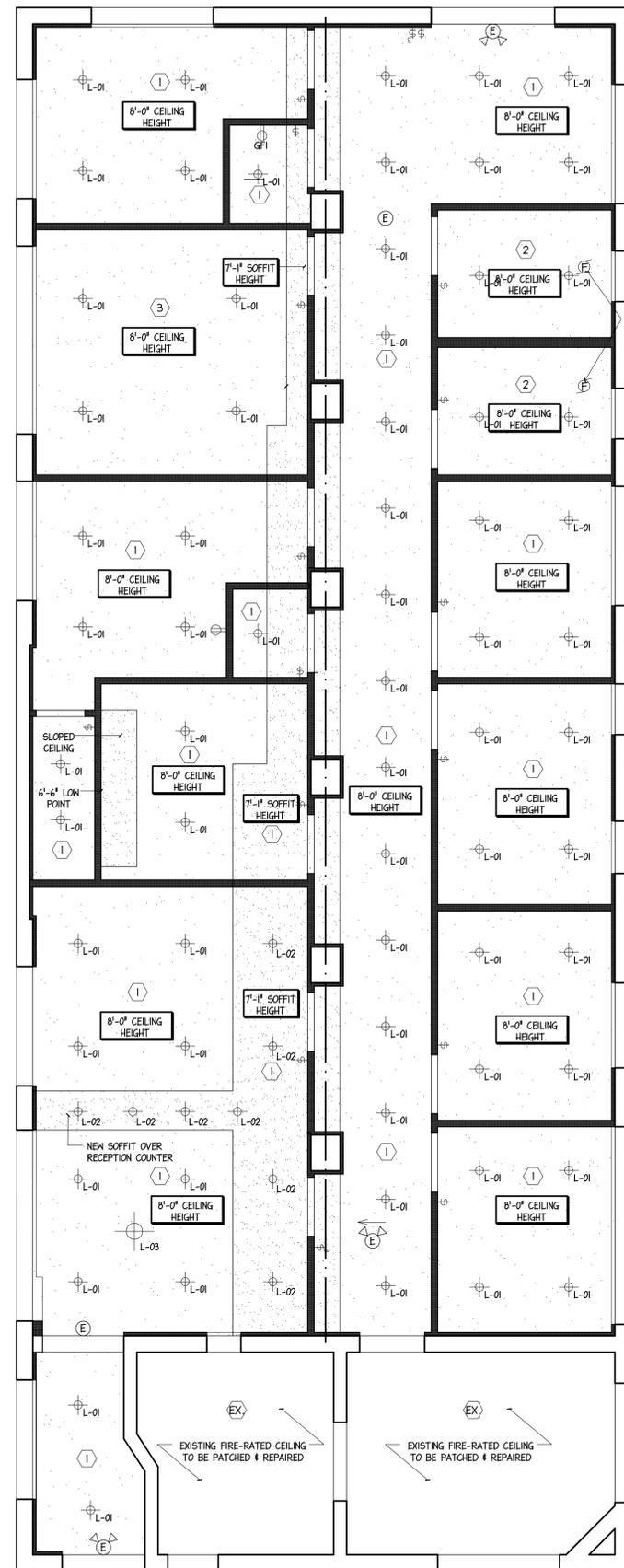
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INTERIOR ALTERATION
MEDICAL OFFICES
230 BROAD STREET
BLOOMFIELD, NJ 07003

ARCHITECTURAL PLAN

DATE 10/26/2023	SCALE AS NOTED	DRAWN AG DR
SET TYPE PRELIMINARY		
COMMISSION		
23075		
DRAWING NUMBER A101		



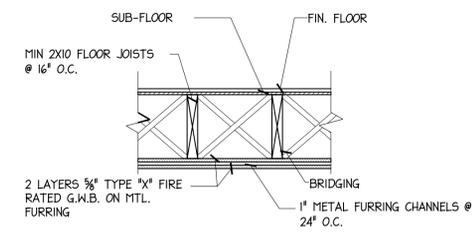
CEILING LEGEND:

EX	EXISTING PLASTER FIRE-RATED CEILING TO BE PATCHED AND REPAIRED. MATCH EXISTING.
1	2 LAYERS 5/8" TYPE 'X' FIRE RATED GYPSUM WALLBOARD CEILING. TAPED, SPACKLED, AND SANDED W/ 1 COAT PRIMER & 2 COATS OF PAINT AS SCHEDULED
2	2 LAYERS 5/8" TYPE 'X' FIRE RATED, MOISTURE RESISTANT GYPSUM WALLBOARD CEILING. TAPED, SPACKLED, AND SANDED W/ 1 COAT PRIMER & 2 COATS OF PAINT AS SCHEDULED
3	2 LAYERS 5/8" TYPE 'X' FIRE RATED GYPSUM WALLBOARD CEILING. TAPED, SPACKLED, AND SANDED W/ 1 COAT PRIMER & 2 COATS OF PAINT AS SCHEDULED - PROVIDE LEAD, OR APPROVED EQUIVALENT, LINING IN CEILING. FINAL THICKNESS AND APPLICATION TO BE DETERMINED BY NJDEP APPROVED RADIATION PHYSICIST.
+	NEW RECESSED LED LIGHT FIXTURE
⊕	NEW SWITCH OUTLET, HUBBELL OR EQUAL
F	NEW EXHAUST FAN
E	CEILING MOUNTED EXIT LIGHT W/ BUILT-IN EMERGENCY BATTERY PACK. RED PLEXI-GLASS PANEL BEHIND 6" LETTER CUT OUT & TWIN MOUNTED HEADS, CONNECT TO EXIT LIGHT, LIGHTOLIER #LLNURM

LIGHTING SCHEDULE

L-01	RAYON LIGHTING - 4' LED FIRE-RATED VERSATRIM DOWNLIGHT RHL4F-ICAT - RFL4 - IIL - 35 - 011 - 4RLSN - 4TLN
L-02	KUZCO BEDFORD - FM3506-BK
L-03	KUZCO DALTON - FM7920-BOR

75 CFM CLNG. EXHAUST FAN. RUN DUCT THRU ROOF OR WALL. PROVIDE WEATHER-CAP & FLASH INTO ROOF OR WALL



2HR. FIRE RATED FLOOR ASSEMBLY

U.L. DESIGN NO. L505
ASSEMBLY RATING 2 HOURS
UNRESTRAINED ASSEMBLY RATING

1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

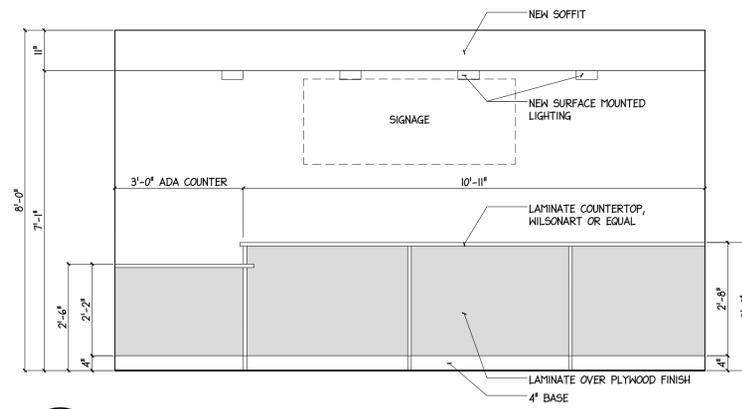
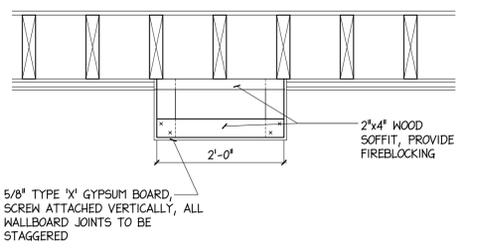
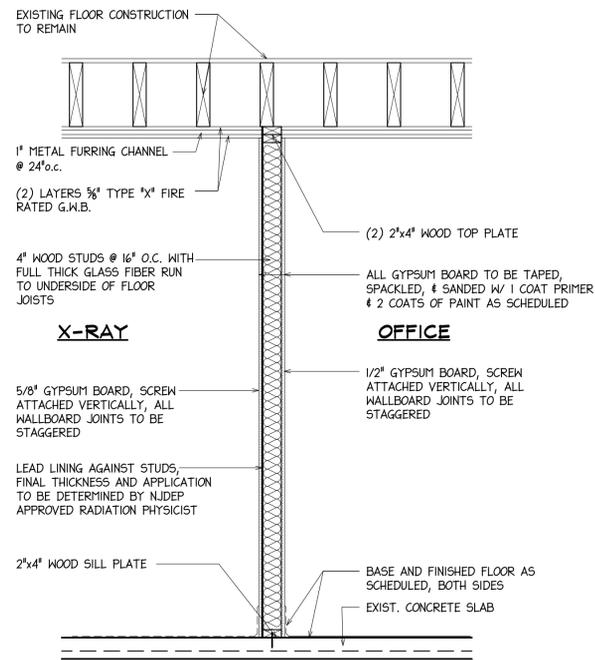
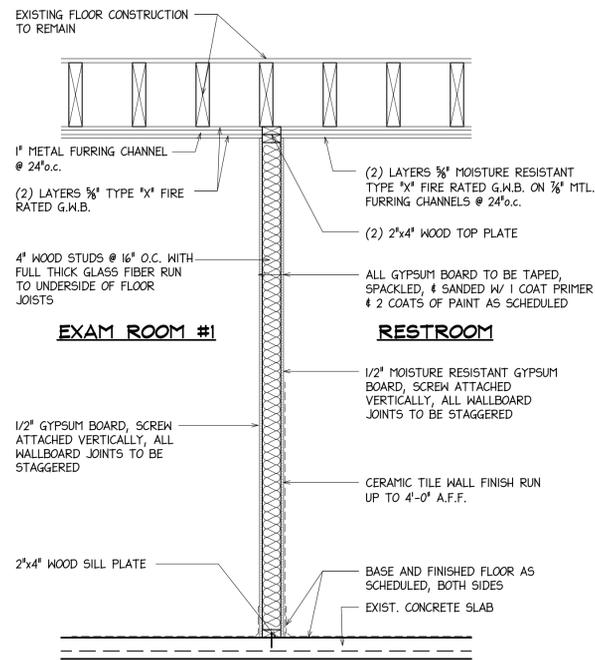
REVISION

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INTERIOR ALTERATION
MEDICAL OFFICES
230 BROAD STREET
BLOOMFIELD, NJ 07003
REFLECTED CEILING PLAN & DETAILS

DATE 10/26/2023	SCALE AS NOTED	DRAWN AG DR
SET TYPE PRELIMINARY		
COMMISSION		
23075		
DRAWING NUMBER A102		

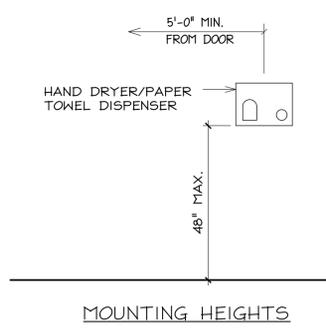
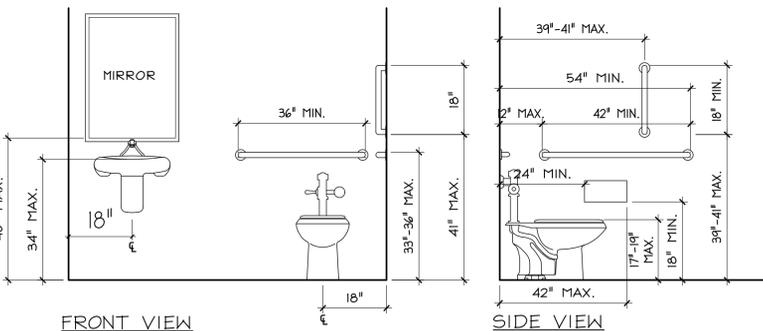


1 INTERIOR WALL SECTION
A301 SCALE: 3/4" = 1'-0"

2 INTERIOR WALL SECTION
A301 SCALE: 3/4" = 1'-0"

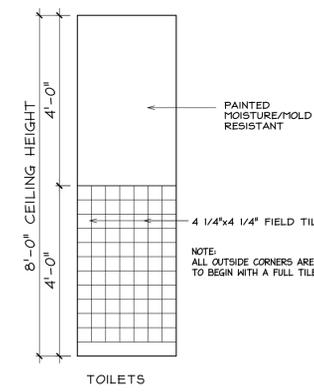
3 SECTION @ FRONT COUNTER
A301 SCALE: 3/4" = 1'-0"

3A RECEPTION DESK ELEVATION
A301 SCALE: 1/2" = 1'-0"

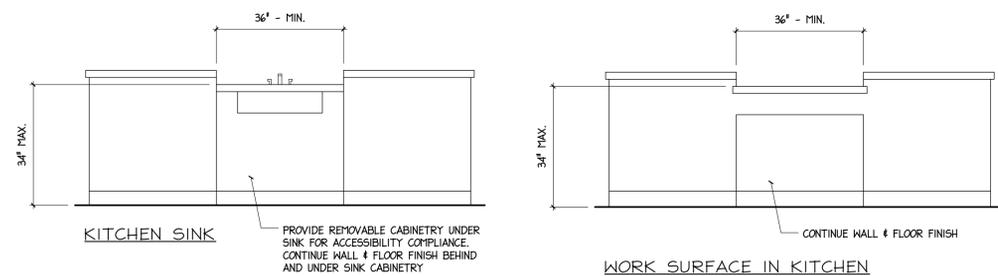


4 FIXTURE MOUNTING DETAILS - H/C ACCESSIBLE
A301 SCALE: 1/2" = 1'-0"

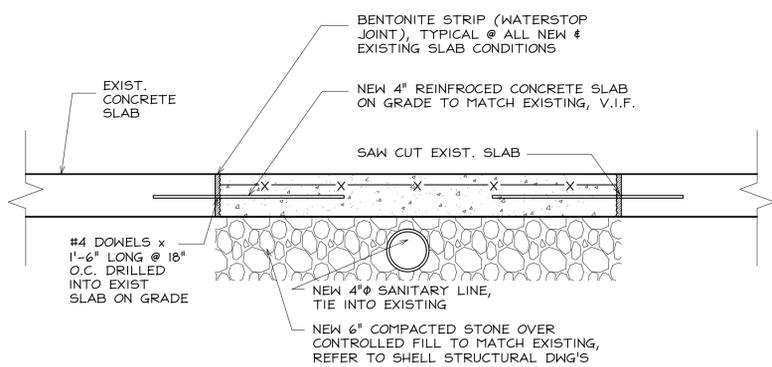
- TOILET ROOM ACCESSORIES:**
- ALL HARDWARE TO BE STAINLESS STEEL
 - ALL PARTITIONS TO BE MOUNTED DIRECTLY TO WALL, NO SPACERS
- TYPICAL ROOM ACCESSORIES:**
- RECESSED PAPER TOWEL DISPENSER & WASTE RECEPTACLE - BOBRICK B-3944 (STAINLESS STEEL)
- TYPICAL STALL ACCESSORIES:**
- TOILET TISSUE DISPENSER - BOBRICK B-2892 TWIN JUMBO-ROLL (SURFACE MTD. STAINLESS STEEL)
 - GRAB BARS - BOBRICK B-5806 (STAINLESS STEEL) SIZE AS INDICATED ON PLANS/DETAILS
- LAVATORY ACCESSORIES:**
- SOAP DISPENSER - BOBRICK B-26637 (SURFACE MTD. STAINLESS STEEL)
 - TILT MIRROR WITH STAINLESS STEEL FRAME - BOBRICK B-293 2436
 - PROVIDE UNDER SINK PIPING INSULATION, BROCAR 500R (WHITE) ON ALL EXPOSED PIPING
- JANITORS CLOSET:**
- MOP & BROOM HOLDER AT JANITOR'S CLOSET - BOBRICK B-224X36, STAINLESS STEEL.
- NOTE: PROVIDE SOLID FIRE-RATED WOOD BLOCKING BEHIND ALL TOILET ROOM ACCESSORIES



5 TILE PATTERN
A301 SCALE: 1/2" = 1'-0"



6 BREAKROOM DETAILS - H/C ACCESSIBLE
A301 SCALE: 1/2" = 1'-0"



7 TYPICAL CONCRETE SLAB JOINT DETAIL
A301 SCALE: 1-1/2" = 1'-0"

REVISION

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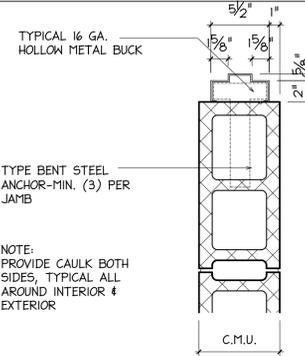
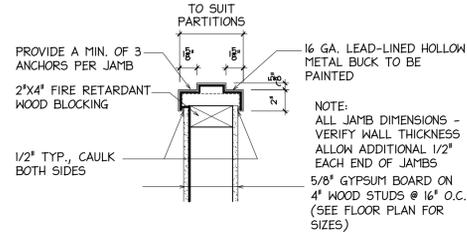
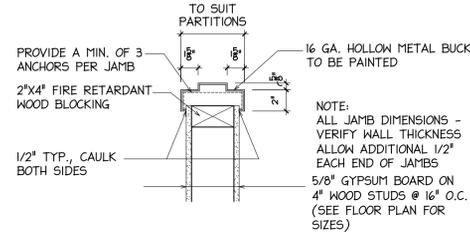
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INTERIOR ALTERATION
MEDICAL OFFICES
230 BROAD STREET
BLOOMFIELD, NJ 07003
WALL SECTIONS & DETAILS

DATE 11/03/2023	SCALE AS NOTED	DRAWN AG DR
SET TYPE BID SET		
COMMISSION		
23075		
DRAWING NUMBER A301		

DOOR SCHEDULE

DOOR NO.	DOOR LOCATION	DOOR SIZE WIDTH x HEIGHT x THICKNESS	DOOR MATERIAL x BUCK TYPE	DOOR TYPE	BUCK TYPE	SADDLE	GENERAL NOTES: - ABBREVIATION F.V. - MEANS FIELD VERIFY - ALL HOLLOW METAL FRAMES TO BE PAINTED. - ALL DOOR HARDWARE TO BE HANDICAP ACCESSIBLE (LEVER TYPE). - PROVIDE DOOR STOPS, TYPE TO SUIT, FOR ALL DOORS AS REQUIRED. - ALL DOORS TO HAVE SILENCERS - ALL LOCK SETS TO BE SCHLAGE OR EQUAL
EX.	EXISTING DOOR TO REMAIN	-	-	-	-	-	EXISTING TO REMAIN - VERIFY FINAL DOOR TREATMENTS WITH OWNER
1	CORRIDOR TO COMMON UTILITY SPACE	3'-0" x 6'-8" x 1 3/4"	H.M. x P.M.	C	F3	-	CONTINUOUS HINGE, 'C' LABEL, WALL MOUNTED DOOR STOP, SURFACE MTD. CLOSER - VERIFY DOOR SIZE IN FIELD
2	CORRIDOR WAITING AREA	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, SILENCERS, KEYED OFFICE LOCK SET (LEVER TYPE), WALL MOUNTED DOOR STOP, SURFACE MTD. CLOSER
3	CORRIDOR TO RECEPTION	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, SILENCERS, KEYED OFFICE LOCK SET (LEVER TYPE), WALL MOUNTED DOOR STOP, SURFACE MTD. CLOSER
4	CORRIDOR TO OFFICE #1	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, SILENCERS, KEYED OFFICE LOCK SET (LEVER TYPE), WALL MOUNTED DOOR STOP, SURFACE MTD. CLOSER
5	CORRIDOR TO SUPPLY CLOSET	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, STORAGE LOCK SET (LEVER TYPE), WALL MOUNTED DOOR STOP
6	CORRIDOR TO OFFICE #2	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, SILENCERS, KEYED OFFICE LOCK SET (LEVER TYPE), WALL MOUNTED DOOR STOP, SURFACE MTD. CLOSER
7	CORRIDOR TO XRAY	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	B	F2	-	CONTINUOUS HINGE, KEYED OFFICE LOCK SET (LEVER TYPE), SURFACE MOUNTED CLOSER, WALL MOUNTED DOOR STOP, XRAY WARNING SIGN
8	CORRIDOR TO JANITOR CLOSET	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, SILENCERS, STORAGE LOCK SET (LEVER TYPE), UNDERCUT 1", WALL MOUNTED DOOR STOP
9	CORRIDOR TO LAB ROOM	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, SILENCERS, KEYED OFFICE LOCK SET (LEVER TYPE), WALL MOUNTED DOOR STOP, SURFACE MTD. CLOSER
10	CORRIDOR TO H/C EMPLOYEE TOILET	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	TI	3 PR. BUTTS, SILENCERS, BATHROOM LOCK SET (LEVER TYPE), UNDERCUT 1", WALL MOUNTED DOOR STOP
11	CORRIDOR TO H/C TOILET	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	TI	3 PR. BUTTS, SILENCERS, BATHROOM LOCK SET (LEVER TYPE), UNDERCUT 1", WALL MOUNTED DOOR STOP
12	CORRIDOR TO EXAM ROOM #1	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, SILENCERS, PASSIVE LATCH SET (LEVER TYPE), WALL MOUNTED DOOR STOP, SURFACE MTD. CLOSER
13	CORRIDOR TO EXAM ROOM #2	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, SILENCERS, PASSIVE LATCH SET (LEVER TYPE), WALL MOUNTED DOOR STOP, SURFACE MTD. CLOSER
14	CORRIDOR TO EXAM ROOM #3	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, SILENCERS, PASSIVE LATCH SET (LEVER TYPE), WALL MOUNTED DOOR STOP, SURFACE MTD. CLOSER
15	CORRIDOR TO EXAM ROOM #4	3'-0" x 6'-8" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, SILENCERS, PASSIVE LATCH SET (LEVER TYPE), WALL MOUNTED DOOR STOP, SURFACE MTD. CLOSER
16	OFFICE #2 TO STORAGE	2'-6" x 6'-0" x 1 3/4"	S.C. WD. x P.M.	A	F1	-	3 PR. BUTTS, STORAGE LOCK SET (LEVER TYPE), WALL MOUNTED DOOR STOP

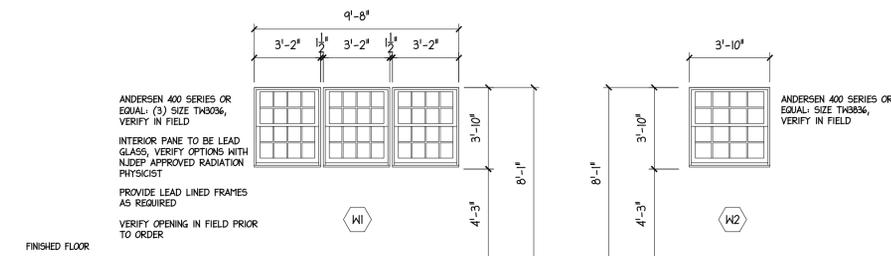
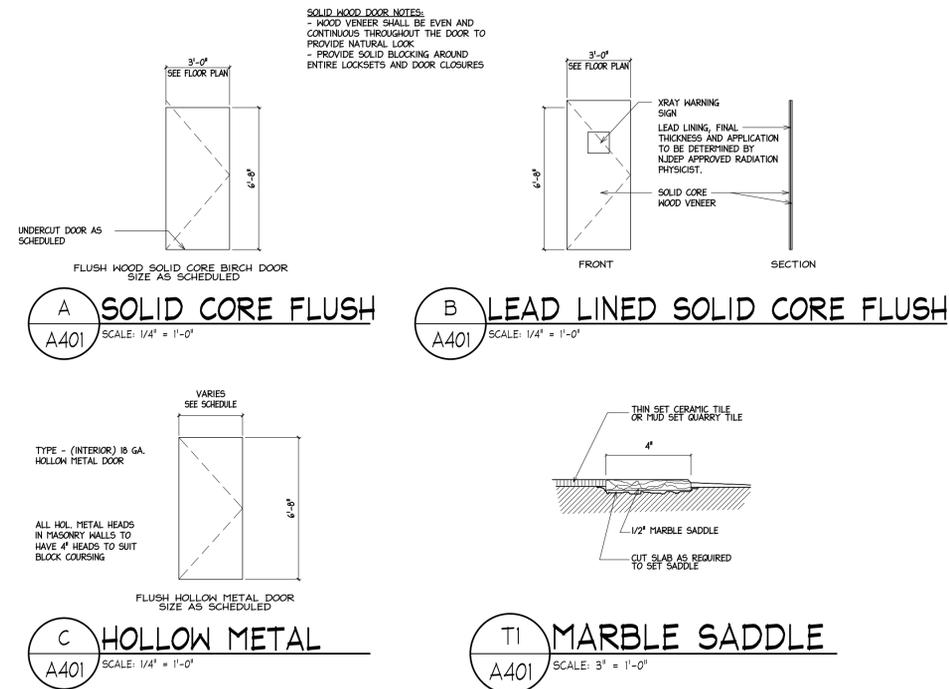


F1 **PRESSED METAL FRAME**
A401 SCALE: 1-1/2" = 1'-0"

F2 **LEAD LINED PRESSED METAL FRAME**
A401 SCALE: 1-1/2" = 1'-0"

F3 **PRESSED METAL FRAME**
A401 SCALE: 1-1/2" = 1'-0"

I **WINDOW SCHEDULE**
A401 SCALE: 1/4" = 1'-0"



ROOM FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALLS	WAINSCOT	WAINSCOT HT.	CEILING	CEILING HT.	REMARKS
WAITING AREA	MILLIKEN CARPET TILE (ALT. WOOD-LOOK LVT PLANKS)	4" VINYL COVE	1/2" PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	-
RECEPTION AREA	WOOD-LOOK LVT PLANKS	4" VINYL COVE	1/2" PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	-
CORRIDOR	WOOD-LOOK LVT PLANKS	4" VINYL COVE	1/2" PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	-
OFFICE #1	WOOD-LOOK LVT PLANKS	4" VINYL COVE	1/2" PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	-
OFFICE #2	WOOD-LOOK LVT PLANKS	4" VINYL COVE	1/2" PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	-
XRAY	WOOD-LOOK LVT PLANKS	4" VINYL COVE	5/8" PAINTED / PRIMED LEAD-LINED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	ALL WALLS, CEILINGS & PENETRATIONS TO BE LEAD-LINED & APPROVED BY NJDEP APPROVED RADIATION PHYSICIST
LAB ROOM	WOOD-LOOK LVT PLANKS	4" VINYL COVE	1/2" PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	-
BREAK AREA	WOOD-LOOK LVT PLANKS	4" VINYL COVE	1/2" PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	-
H/C EMPLOYEE TOILET	12"x24" PORCELAIN TILE	6" PORCELAIN TILE COVE	1/2" MOISTURE RESISTANT PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS	P.T. WALL FINISH	4'-0"	(2) LAYERS 5/8" TYPE 'X' MOISTURE RESISTANT PAINTED/PRIMED GYP. WALLBOARD	8'-0"	PROVIDE SOUND BATT INSULATION IN ALL TOILET ROOM PARTITIONS
H/C TOILET	12"x24" PORCELAIN TILE	6" PORCELAIN TILE COVE	1/2" MOISTURE RESISTANT PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS	P.T. WALL FINISH	4'-0"	(2) LAYERS 5/8" TYPE 'X' MOISTURE RESISTANT PAINTED/PRIMED GYP. WALLBOARD	8'-0"	PROVIDE SOUND BATT INSULATION IN ALL TOILET ROOM PARTITIONS
EXAM ROOM #1	WOOD-LOOK LVT PLANKS	4" VINYL COVE	1/2" PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	PROVIDE SOUND BATT INSULATION IN ALL EXAM ROOM PARTITIONS
EXAM ROOM #2	WOOD-LOOK LVT PLANKS	4" VINYL COVE	1/2" PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	PROVIDE SOUND BATT INSULATION IN ALL EXAM ROOM PARTITIONS
EXAM ROOM #3	WOOD-LOOK LVT PLANKS	4" VINYL COVE	1/2" PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	PROVIDE SOUND BATT INSULATION IN ALL EXAM ROOM PARTITIONS
EXAM ROOM #4	WOOD-LOOK LVT PLANKS	4" VINYL COVE	1/2" PAINTED / PRIMED GYPSUM WALLBOARD ON STUDS OR FURRING AT MASONRY	-	-	(2) LAYERS 5/8" TYPE 'X' PAINTED/PRIMED GYP. WALLBOARD	8'-0"	PROVIDE SOUND BATT INSULATION IN ALL EXAM ROOM PARTITIONS

INTERIOR ROOM FINISH NOTES:

- ALL FINISHES TO BE SELECTED BY OWNER
- ALL GYPSUM BOARD TO BE TAPED, SPACKLED & SANDED. 1 COAT OF PRIMER & 2 COATS OF PAINT (SHERWIN WILLIAMS). STAIN ALL WOOD DOORS.
- SEE FLOOR TILE PLAN FOR TYPES AND LIMITS OF ALL FLOOR FINISHES.
- PROVIDE WOOD BLOCKING AS REQUIRED FOR ALL TOILET ACCESSORIES AND HAND RAILS.
- ALL PRESSED METAL DOOR FRAMES ARE TO BE PAINTED.
- ALL FINISHES OVER MASONRY WALLS TO BE OVER 1 1/2" GALV. *2" FURRING. 24" O.C. W/ 1 1/2" RIGID INSULATION TO 6" ABOVE FIN. CEILINGS. CAP TOP OF INSULATION W/ 1/2" GYP. BRD. U.O.N.
- ALL PORCELAIN TILE FOR FLOORS TO BE THIN SET INSTALLATION.
- ALL PORCELAIN TILE WALLS TO BE THIN SET INSTALLATION OVER MOISTURE RESISTANT GYP. BRD.
- ALL GYPSUM BOARD TO BE AMERICAN MADE.

REVISION

ANTHONY GUZZO ARCHITECTS
KELLY NO. 12993

guzzo architects

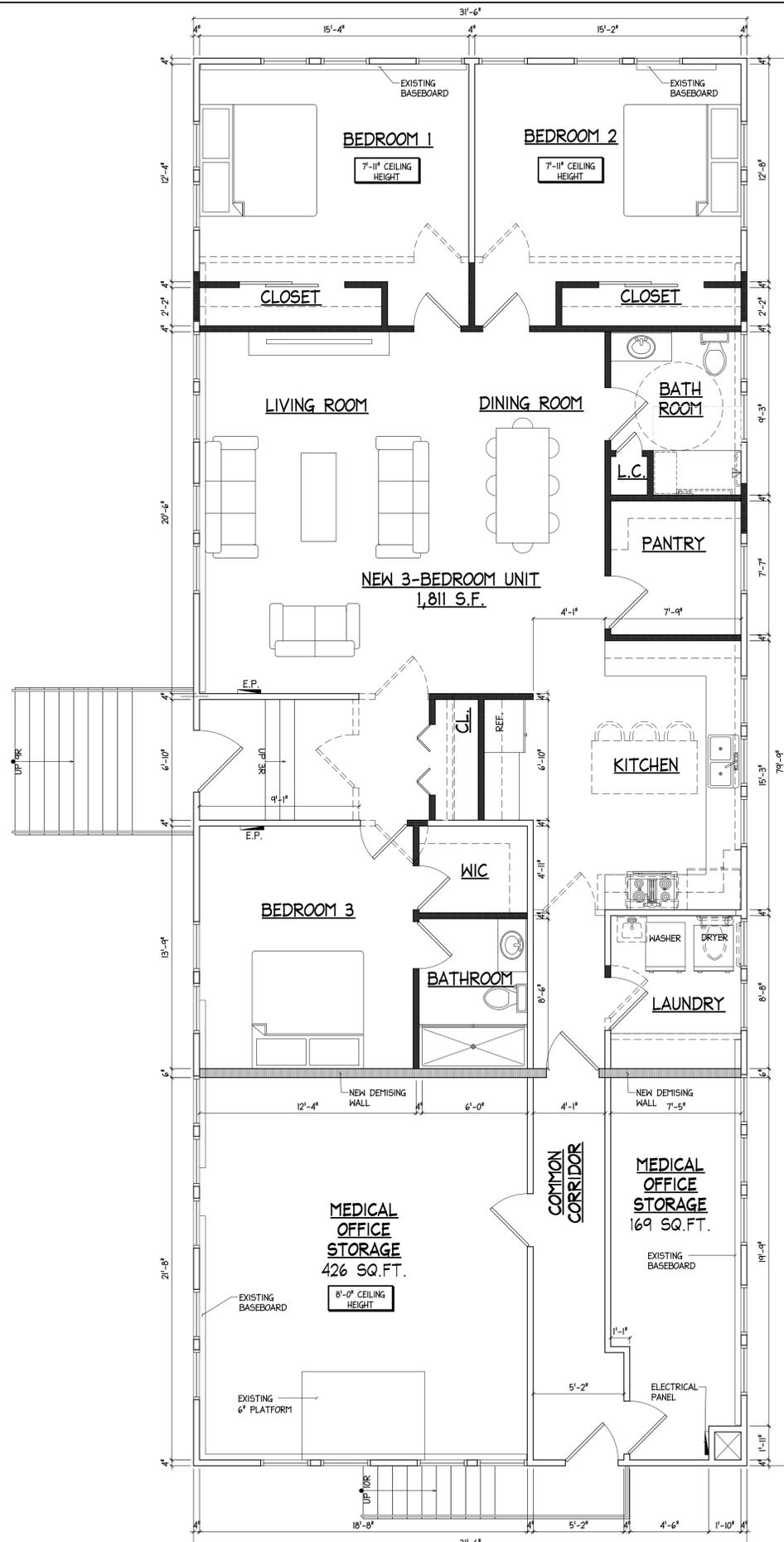
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INTERIOR ALTERATION
 MEDICAL OFFICES
 230 BROAD STREET
 BLOOMFIELD, NJ 07003
 DOOR & ROOM SCHEDULES AND
 DETAILS

DATE 11/03/2023	SCALE AS NOTED	DRAWN AG DR	
SET TYPE BID SET			
COMMISSION			
23075			
DRAWING NUMBER			
A401			



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

LEGEND

- INDICATES EXISTING PARTITIONS
- - - INDICATES DEMOLITION
- ▨ INDICATES NEW INTERIOR PARTITIONS 2"x4" @ 16" O.C.
- ▩ INDICATES NEW INTERIOR DEMISING PARTITIONS 2"x6" @ 16" O.C.

BUILDING DATA

APPLICABLE CODES:
 2021 INTERNATIONAL BUILDING CODE, NEW JERSEY EDITION
 2021 NATIONAL ELECTRICAL CODE
 2021 INTERNATIONAL MECHANICAL CODE
 2021 INTERNATIONAL ENERGY CONSERVATION CODE, ASHRAE 90.1-2016
 2021 INTERNATIONAL FUEL GAS CODE
 BARRIER FREE SUBCODE (CHAPTER 11 OF IBC & NJAC 5:23-7)
 ICC A117.1-2017
 REHABILITATION SUBCODE - NJAC 5:23-6

BUILDING CLASSIFICATION:

USE GROUP: "B" BUSINESS
 CONSTRUCTION TYPE: "V-B" FRAME
 BUILDING TYPE: MIXED USE
 GROUND FLOOR (AREA OF WORK): "B" BUSINESS
 SECOND FLOOR (PROPOSAL): "R-3" RESIDENTIAL

BUILDING SQUARE FOOTAGE CALCULATIONS:

EXISTING GROUND FLOOR:	2,512 S.F.
TENANT SPACE:	2,221 S.F.
COMMON UTILITY AREA:	291 S.F.
PROPOSED SECOND FLOOR:	2,512 S.F.
NEW 3-BED UNIT:	1,811 S.F.
ACCESSORY STORAGE:	595 S.F.
COMMON SPACE:	106 S.F.

R1 07/29/2024 - REVISION #1
 PROVIDED PROPOSED SECOND FLOOR LAYOUT

ANTHONY GUZZO, AIA
 KELLICOTT, INC. 12993
guzzo architects
 201-938-1446
 688 RIDGE ROAD
 LYNDBURST, N.J. 07071
 (FAX) 201-938-1448

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INTERIOR ALTERATION
 MEDICAL OFFICES
 230 BROAD STREET
 BLOOMFIELD, NJ 07003

PROPOSED SECOND FLOOR PLAN

DATE 11/03/2023	SCALE AS NOTED	DRAWN AG HS DR
SET TYPE BID SET		
COMMISSION		
23075		
DRAWING NUMBER SK-1		