

PRELIMINARY AND FINAL SITE PLAN & SUBDIVISION

FOR

BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC PROPOSED MIXED-USE DEVELOPMENT

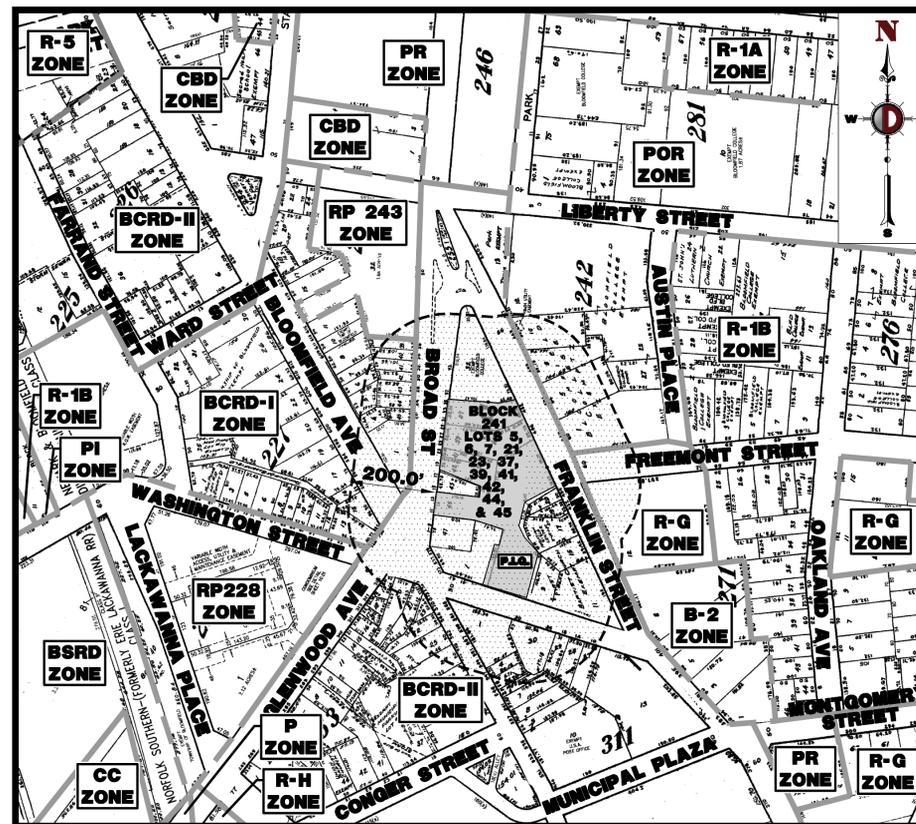
BLOCK 241, LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, 46; TAX MAP SHEET #11 - LATEST REV. DATED 11-06-2017
11-13 BROAD STREET

TOWNSHIP OF BLOOMFIELD
ESSEX COUNTY, NEW JERSEY

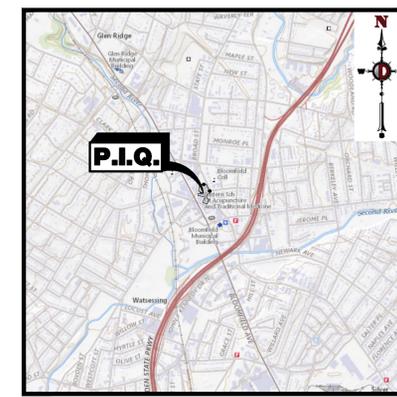
200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT	PROPERTY OWNER	BLOCK	LOT
FALLS IRVING-MICHEL M-BLFD ASSOC 2 ETHEL ROAD, S. 205A EDISON, NJ 08817	241	1	TRAM PROPERTY, LLC 32 BROAD ST BLOOMFIELD, NJ 07003	243	41
CHRISTIAN BIBLE CENTER 430 FRANKLIN STREET BLOOMFIELD, NJ 07003	241	17, 19 & 20	VICHUKUMARAN, NATINA & CHANCHAI 708 NOTSFIELD AVE WEST ORANGE, NJ 07052	243	42
BLOOMFIELD COLLEGE AND SEMINARY 467 FRANKLIN ST BLOOMFIELD, NJ 07003	241	32	PATEL, JITENDRA P. & MANUJIA J. 14 SUMMIT AVENUE CEDAR KNOLLS, NJ 07827	243	43
BLOOMFIELD BROAD ASSOCIATES, LLC 2 BROAD ST 4TH FLOOR BLOOMFIELD, NJ 07003	241	39, 41 & 42	NERM 24 BROAD, LLC 256 ENCLWOOD AVE TEANECK, NJ 07666	243	44
YOUNG JONG, INC 8 HUNTER COURT ROSELAND, NJ 07068	241	43	E. & K. REMODELING, LLC 13 SAGE COURT BLOOMFIELD, NJ 07003	243	45
11-13 BROAD STREET ASSOC, LLC 2 BROAD STREET, STE 400 BLOOMFIELD, NJ 07003	241	45	SF FRANKLIN MANOR C/O COMMERBYS INT P.O. BOX 4687 LOONA, VT 05453	271	12
BLOOMFIELD COLLEGE + SEMINARY 467 FRANKLIN STREET BLOOMFIELD, NJ 07003	242	1 & 12	NOBEL REAL EST. LLC C/O GREEN INVEST & LAVENDER DRUG PROSPECTOR, NJ 08854	241	47
2 BROAD STREET ASSOC, LLC 2 BROAD ST SUITE 400 BLOOMFIELD, NJ 07003	243	1	SINCHAH 580 BLOOMFIELD, SASSOON RLT 450 WEST STREET FORT LEE, NJ 07024	227	15
YENK WING SHENG & YEUNG, PING 26 DAMENPORT AVE ROSELAND, NJ 07068	243	4	BLOOMFIELD 588A LLC 179 CENTER ST #1 WILLESTON PARK, NY 11596	227	16
SHAWNS, LLC 297 BLOOMFIELD AVENUE BLOOMFIELD, NJ 07003	243	5	BLOOMFIELD 588B-594B LLC 179 CENTER ST #1 WILLESTON PARK, NY 11596	227	17
WK INVESTMENTS, INC 129 WILSON TRAIL WAY DOWNTOWN, PA 18335	243	6	FIRST BAPTIST CHURCH 1 WASHINGTON STREET BLOOMFIELD, NJ 07003	241	9
DOAN & HOANG HOLDINGS, LLC 2600 SAGINAW BLVD SARASOTA, FL 34240	243	7	BLOOMFIELD, TOWNSHIP OF 222 MOUNT ARMY ROAD #200 BASKING RIDGE, NJ 07020	227	13
MSP BLOOMFIELD URBAN RENEWAL, LLC P.O. BOX 1034 HICKSVILLE, NY 11802	243	32	52 WASHINGTON EXP, LLC 11 ANNES PLACE GLEN RIDGE, NJ 07028	153	19
MSP BLOOMFIELD URBAN RENEWAL, LLC 16 MICHIGAN ROAD, SITE A LAWNSTON, NJ 07039	243	32	D'ANGELO & SONS, LLC MIDDLE VILLAGE, NY 11379	153	20
BRICKS ON BROAD, LLC 36 BROAD ST BLOOMFIELD, NJ 07003	243	39	D'ANGELO BLAZA, LLC MIDDLE VILLAGE, NY 11379	153	21
TRAM MICHAEL 34 BROAD STREET BLOOMFIELD, NJ 07003	243	40	SINCHAH 549 BLOOMFIELD, LLC PO BOX 31 FORT LEE, NJ 07024	311	1

ALSO TO BE NOTIFIED:
TOWNSHIP OF BLOOMFIELD
MUNICIPAL CLERK
1 MUNICIPAL PLAZA
BLOOMFIELD, NJ 07003
PSEG
MANAGER-CORPORATION PROPERTIES
80 PARK PLAZA 1-8F
NEWARK, NJ 07102
NEW JERSEY TURNPIKE AUTHORITY
PO BOX 5500, 501 MAIN STREET
WOODBRIDGE, NJ 07095
PASSAIC VALLEY WATER COMMISSION
1525 MAIN AVENUE
PO BOX 230
CLIFTON, NJ 07015
CITY OF NEWARK WATER BUREAU
1254 WEDGE AVENUE
LITTLE FALLS, NJ 07424
NORTH JERSEY DIST. WATER SUPPLY COMM.
741 RINGWOOD AVENUE
MANALAPAN, NJ 07045
TRANSCONTINENTAL GAS PIPELINES
PO BOX 2400
TULSA OK 74102
TOWNSHIP OF BLOOMFIELD
SUB CABLE/COMCAST
800 SHAWNEE AVENUE
UNION, NJ 07083
VERIZON
PO BOX 152206
BRIDGE TV, 20115
PASSAIC VALLEY SEWERAGE COMMISSION
600 WILSON AVENUE
NEWARK, NJ 07102
COUNTY OF ESSEX
COUNTY CLERK
242 MOUNT ARMY ROAD #200
BASKING RIDGE, NJ 07020
465 DR. MARTIN LUTHER KING, JR. BLVD.
NEWARK, NJ 07102
NORFOLK SOUTHERN RR CORPORATION
3 COMMERCIAL PLAZA
NORFOLK, VA 23510



AREA MAP
1" = 200'



KEY MAP
1" = 2000'

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Plotted: 02/26/24 - 10:50 AM, By: mzimmerman, Product: Ver: 24.3s (LMS Tech) File: P:\dec_projects\2340 metro real estate bloomfield\dwg\Site Plans\234023403088BESK1.dwg, Sheet: 01 COVER SHEET

PLANNING BOARD APPROVAL	
APPROVED BY THE PLANNING BOARD OF TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY	
BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE
BOARD ENGINEER	DATE

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
1904 MAIN STREET
LAKE COMO, NJ 07719
WWW.DYNAMICCEC.COM

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1904 Main Street
Lake Como, NJ 07719
T: 973.974.0198
F: 973.974.3521
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COVER SHEET

TITLE: **COVER SHEET**

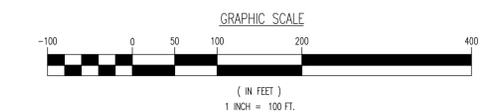
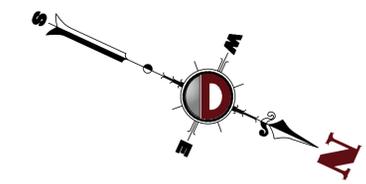
PROJECT: **BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC
PROPOSED MIXED-USE DEVELOPMENT**

BLOCK 241, LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46
11-13 BROAD STREET
TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY

JOB No: 2340-23-03088 DATE: 01/05/2024
DRAWN BY: ARK SCALE: (H) AS SHOWN
DESIGNED BY: NSR SHEET No: 1
CHECKED BY: JLG
CHECKED BY: -

JACQUELYN GIORDANO ROBERT P. FREUD
PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 53558
PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41938

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THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED ON IMAGERY PREPARED BY DIGITAL GLOBE, GEO EYE AND USDA FARM SERVICE AGENCY. THIS IMAGERY WAS PROVIDED BY GOOGLE MAPS ON 10-20-2023. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

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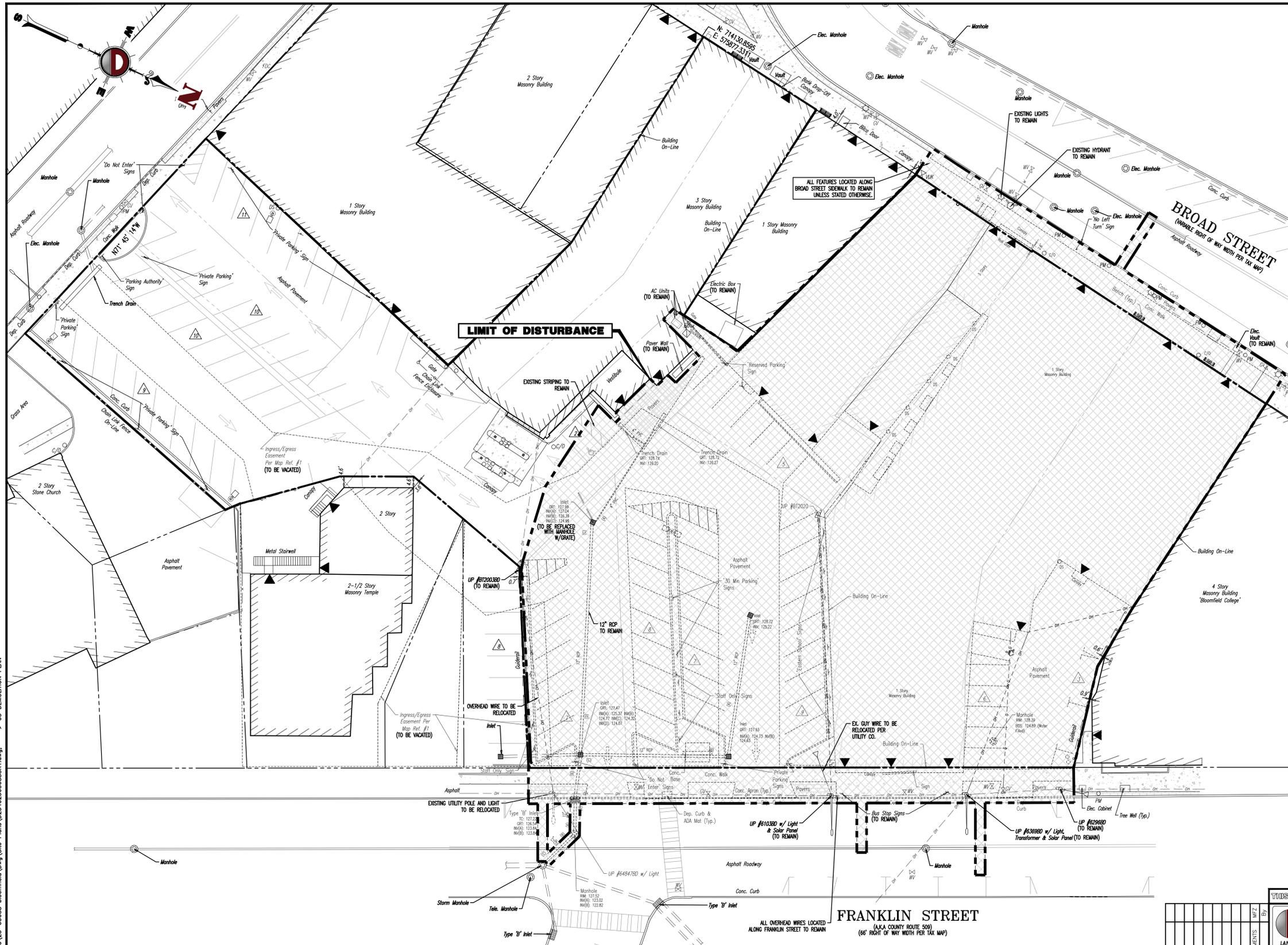
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TITLE: AERIAL MAP		JOB No: 2340-23-03088	DATE: 01/05/2024
PROJECT: BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC PROPOSED MIXED-USE DEVELOPMENT		DRAWN BY: ARK	SCALE: (H) 1"=100' (V)
BLOCK 241, LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46 11-13 BROAD STREET TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY		DESIGNED BY: NSR	SHEET No:
JACQUELYN GIORDANO PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 53558		CHECKED BY: JLG	2 OF 15 Rev. # 1
ROBERT P. FREUD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41938		CHECKED BY: -	

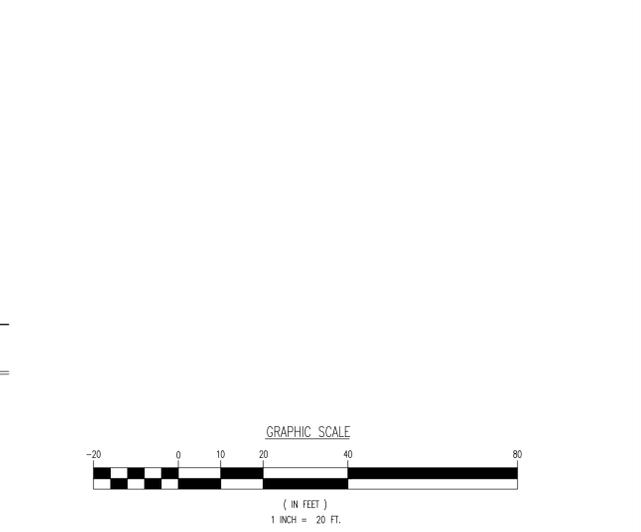
Product Ver: 24.3s (LMS Tech)
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Product Ver: 24.3s (LMS Tech)
 Plotted: 02/26/24 - 10:50 AM, By: mzimmerman,
 File: P:\aepc_projects\2340 metro real estate companies\23-03088 bloomfield\dwg\Site Plans\234023403088B1.dwg, ---> 03 DEMOLITION PLAN



- ### DEMOLITION NOTES
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 - PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
 - COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
 - DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
 - REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND.
 - BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
 - LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
 - PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND ADJACENT FACILITIES.
 - DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING, ALL OTHER FOUNDATION SYSTEMS, INCLUDING BASEMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRANE SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
 - IF NECESSARY, ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS. PLACE THE SAFETY AND PROTECTION OF THE SURROUNDING COMMUNITY AND PROPERTY AT THE HIGHEST PRIORITY.
 - REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
 - CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
 - USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
 - ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
 - COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
 - REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
 - DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
 - THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
 - VERIFY THAT ALL ENVIRONMENTAL CONCERNS INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD BASED PAINT, HAZARDOUS MATERIALS, UNDERGROUND STORAGE TANKS, AND TRANSFORMERS HAVE BEEN REMOVED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES. THESE ARE NOT SHOWN ON THE PLANS. REFER TO ENVIRONMENTAL REPORTS AND DOCUMENTS FOR LOCATIONS AND DISPOSAL PROCEDURES.

DEMOLITION PLAN LEGEND



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TITLE: **DEMOLITION PLAN**

PROJECT: **BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC
 PROPOSED MIXED-USE DEVELOPMENT**

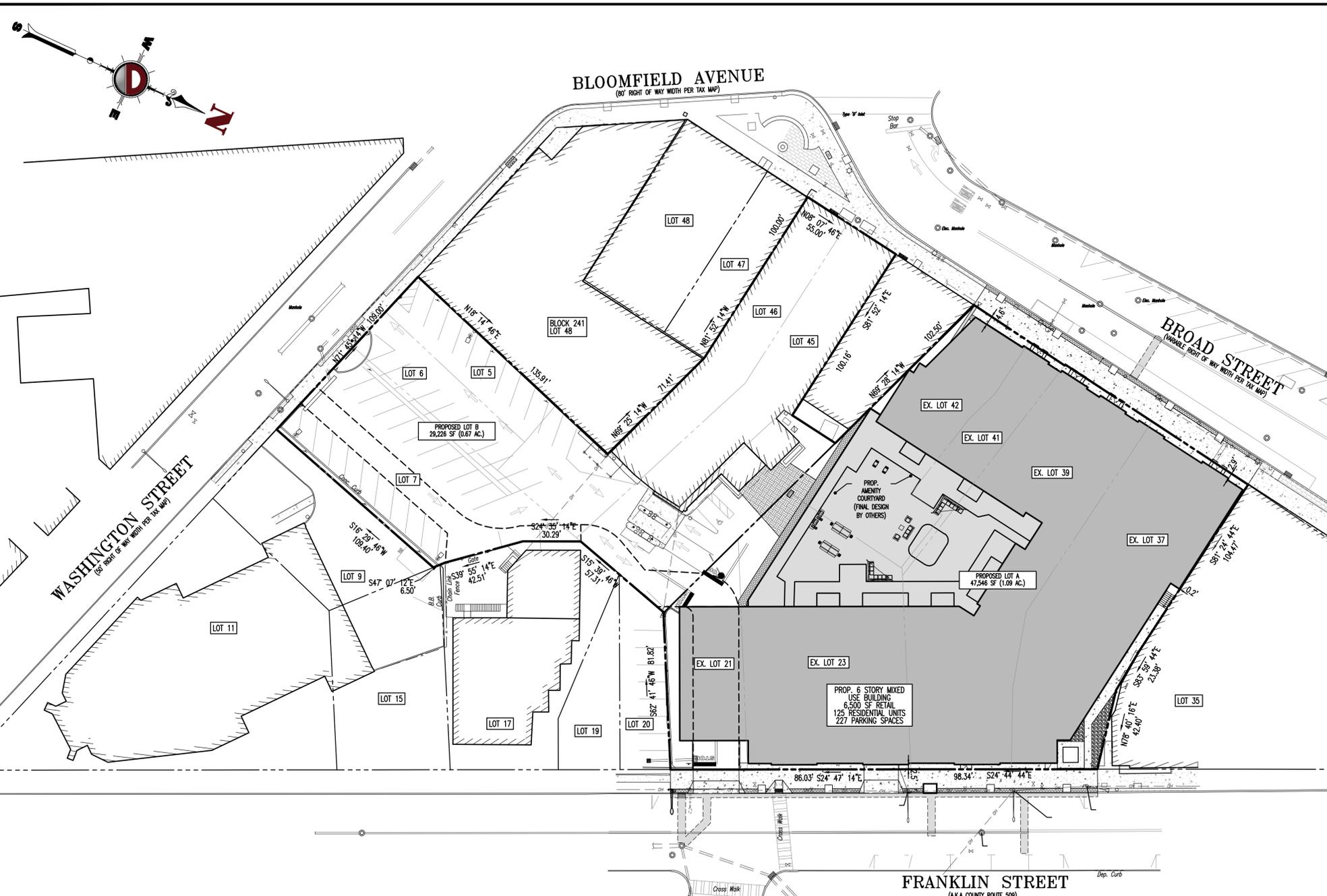
JOB No: 2340-23-03088 DATE: 01/05/2024
 DRAWN BY: ARK SCALE: (H) 1"=20'
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 CHECKED BY: JLG SHEET No:
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JACQUELYN GIORDANO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 53558

ROBERT P. FREUD
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41938

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Rev. # 1



GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
 - DYNAMIC SURVEY, LLC
1904 MAIN STREET
LAKE COME, NJ 07719
SURVEYOR FILE NO. 2340-23-03115
- APPLICANT: BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC
2 BROAD STREET, SUITE 400
BLOOMFIELD, NJ 07003
- OWNER: BLOCK 241, LOTS 5, 6, 7, 21, 23, 37, 39, 41 & 42
BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC
2 BROAD STREET, SUITE 400
BLOOMFIELD, NJ 07003
- PARCEL DATA: BLOCK 241, LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46
11-13 BROAD STREET ASSOCIATES, LLC
2 BROAD STREET, SUITE 400
BLOOMFIELD, NJ 07003
- ZONE: ZONE BCRD-II (BLOOMFIELD CENTER REDEVELOPMENT PLAN-PHASE II)
- EXISTING USE: RETAIL STORES (PERMITTED USE)
- PROPOSED USE: MIXED-USE RESIDENTIAL AND RETAIL WITH PARKING GARAGE (PERMITTED USE)
- SCHEDULE OF ZONING REQUIREMENTS (BCRP-II)

ZONE REQUIREMENT	ZONE BCRD-II	EXISTING (LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46)	PROPOSED (LOT A)	PROPOSED (LOT B)
MINIMUM LOT AREA	N/S	76,876 SF (1.76 Ac)	47,546 SF (1.09 Ac)	29,226 SF (0.67 Ac)
MINIMUM LOT FRONTAGE [1]	N/S	227 FT	172 FT	55.0 FT
MINIMUM LOT DEPTH [2] [3]	N/S	227.6 FT	233.75 FT	215.5 FT
MINIMUM FRONT YARD SETBACK (BROAD STREET) [1] [4]	0 FT	0 FT	2.9 FT	0.0 FT
MAXIMUM FRONT YARD SETBACK (BROAD STREET) [1] [4]	5 FT	1.1 FT	4.6 FT	0.0 FT
MINIMUM SIDE YARD SETBACK	N/S	0.0 FT	0.2 FT	0.0 FT
MINIMUM REAR YARD SETBACK	N/S	0.0 FT	2.5 FT	45.1 FT
MAXIMUM HEIGHT (STREET TYPE 4) [5][6]	6 STORIES OR 75 FT	3 STORIES	6 STORIES	3 STORIES
MAXIMUM IMPERVIOUS COVERAGE	N/S	75,134 SF (1.73 Ac) (97.7%)	45,534 SF (1.05 Ac) (96.6%)	28,514 SF (0.65 Ac) (97.5%)
MIN. GROUND FLOOR AREA	N/S	36,128 SF (0.83 Ac) (47.0%)	42,028 SF (0.96 Ac) (88.4%)	9,810 SF (0.23 Ac) (33.6%)

- N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE
- NOTES:
 [1] FRONT YARDS ON THROUGH LOTS, IN THE CASE OF A LOT RUNNING THROUGH FROM ONE STREET TO ANOTHER, THE FRONTAGE OF SUCH A LOT, FOR THE PURPOSE OF THIS ARTICLE, SHALL BE CONSIDERED THAT FRONTAGE UPON WHICH THE MAJORITY OF THE BUILDINGS IN THE SAME BLOCK FRONT, BUT IN CASE THERE HAS BEEN NO CLEARLY DEFINED FRONTAGE ESTABLISHED, THE FRONT LOT LINE SHALL BE THE LINE UPON WHICH THE PRIMARY ENTRANCE OF THE PRINCIPAL BUILDING FACES OR WILL FACE WHEN CONSTRUCTED. (§ 315-35.8.3) (BROAD STREET)
 [2] REAR LOT LINE - THE LOT LINE OPPOSITE AND MOST DISTANT FROM THE FRONT LOT LINE, WHICH ON A CORNER LOT WILL BE THE LOT LINE OPPOSITE THE LESSER FRONTAGE, IN THE CASE OF TRIANGULAR OR OTHER IRREGULARLY SHAPED LOTS, A LINE 10 FEET IN LENGTH ENTIRELY WITHIN THE LOT, PARALLEL TO AND AT A MAXIMUM DISTANCE FROM THE FRONT LOT LINE. (§ 315-6)
 [3] LOT DEPTH - THE AVERAGE DISTANCE BETWEEN THE FRONT LOT LINE AND THE REAR LOT LINE. (§ 315-6)
 [4] A BUILDING MAY BE SETBACK UP TO 5 FT FROM THE PROPERTY LINE AT LOBBY ENTRANCES TO CREATE A DEFINED "ENTRY SPACE" FOR OFFICES AND RESIDENTIAL UNITS LOCATED ABOVE. THIS ADDITIONAL SETBACK WILL BE LIMITED TO THE LOBBY AREA AS DEFINED BY THE BUILDING ARCHITECTURE (BCRP-II 58.4)
 [5] THIS PLAN ENCOURAGES THE VOLUNTARY ASSEMBLY OF SMALL PROPERTIES IN ORDER TO MAXIMIZE DEVELOPMENT POTENTIAL TO FACILITATE THIS, AT THE DISCRETION OF THE MAYOR AND COUNCIL, PROPERTY OWNERS THAT ASSEMBLE PARCELS TO CREATE LARGER DEVELOPMENT SITES MAY BE GRANTED PERMISSION TO: EXTEND THEIR BUILDING TO THE BONUS HEIGHT; AND PERCE THE S.E.P.; THE BUILDING HEIGHTS, BONUS HEIGHTS AND SEZ ARE ALSO SUBJECT TO EVALUATION BASED ON THEIR IMPACT TO ADJACENT PROPERTIES AND THE STREETS ON WHICH THEY FRONT. BUILDING HEIGHTS SHOULD TRANSITION FROM ADJACENT USES AND BUILDINGS AS TO NOT NEGATIVELY IMPACT THESE BUILDINGS AND ALLOW AIR AND LIGHT TO THE STREET. OTHERWISE, THE MAXIMUM BUILDING HEIGHT SHALL BE 4 STORIES OR 48 FEET, AND A MINIMUM HEIGHT OF 2 STORIES OR 26 FEET (BCRP-II 58.3)
 [6] BUILDING HEIGHT IS THE VERTICAL DISTANCE FROM THE AVERAGE FINISHED GRADE SURROUNDING THE STRUCTURE TO THE LEVEL OF THE HIGHEST POINT OF THE ROOF SURFACE. (§ 315-6)

9. PARKING REQUIREMENTS
- A. 100% OF THE PARKING SUPPLY SHALL BE PROVIDED WITHIN 400 FEET OF AN ENTRANCE TO THE PROPOSED BUILDINGS SERVED BY THE PARKING SPACES. (2011 ORDINANCE AMENDMENT #1105) (COMPLIES)
- B. IN ALL FOUR DISTRICTS, PRIVATE GROUND FLOOR PARKING WITHIN THE FOOTPRINT OF THE BUILDING IS PERMITTED AS AN ACCESSORY USE, EXCEPT THAT ACCESSORY GROUND FLOOR PARKING AREAS SHALL NOT FRONT ON OR BE ACCESSIBLE FROM BLOOMFIELD AVENUE, BROAD STREET, AND GLENWOOD AVENUE. WHERE GROUND FLOOR PARKING WITHIN THE FOOTPRINT OF THE BUILDING IS PERMITTED, IT SHALL BE ENCLOSED IN A MANNER THAT MAKES IT AS INCONSPICUOUS AS POSSIBLE FROM THE STREET THROUGH COORDINATION WITH THE ARCHITECTURAL DESIGN OF THE FACADE OF THE BUILDING. (2012 ORDINANCE AMENDMENT #1547 - TABLE 1 - NOTE 2) (COMPLIES)
- C. ALL OFF-STREET PARKING IN THE DISTRICT SHALL BE LOCATED BEHIND BUILDINGS AND OUT OF VIEW FROM THE STREET WITH EXCEPTION OF INTERIM OR TEMPORARY PARKING AREAS. (BCRP-II 50.1) (COMPLIES)
- D. SMALL PORTIONS OF GARAGE STRUCTURES MAY BE EXPOSED TO THE STREET IF DESIGNED AS AN INTEGRAL PART OF THE OVERALL ARCHITECTURE OF THE BUILDING AND THE OPENING DOES NOT EXCEED 40' IN LENGTH AS MEASURED ALONG THE ROW LINE. NO MORE THAN 2 OPENINGS PERMITTED PER SIDE AND THEY SHALL NOT BE LESS THAN 100' APART. (BCRP-II 50.1) (COMPLIES)
- E. ALL PARKING AND LOADING AREAS SHALL BE GRADED AND PAVED AND SHALL BE ADEQUATELY DRAINED. (§ 315-30.0(5)) (COMPLIES)
- F. THE DIMENSION OF EVERY PARKING STALL SHALL MEASURE AT LEAST NINE (9) FEET IN WIDTH AND 18 FEET IN LENGTH, EXCLUSIVE OF ACCESS DRIVES AND ANGLES. HARPIN STRIPING SHALL BE PROVIDED, WHERE APPROPRIATE. END-TO-END PARKING SPACES SHALL MEASURE NOT LESS THAN EIGHT (8) FEET IN WIDTH BY 23 FEET IN LENGTH. TWENTY PERCENT OF REQUIRED PARKING SPACES MAY BE COMPACT SPACES MEASURING 8.5 FEET IN WIDTH BY 15 FEET IN DEPTH. (§ 315-30.0(6)) (COMPLIES - 10.8%)
- G. THE WIDTH OF ALL AISLES PROVIDING DIRECT ACCESS TO INDIVIDUAL PARKING SPACES FOR 90° ANGLED PARKING SHALL BE 24 FEET IN WIDTH ONLY ONE-WAY TRAFFIC SHALL BE PERMITTED IN AISLES SERVING PARKING SPACES PLACED AT AN ANGLE OTHER THAN 90 DEGREES (§ 315-30.0(7)) (COMPLIES)
- H. REQUIRED OFF-STREET PARKING SHALL NOT BE LOCATED IN A FRONT YARD. (§ 315-30.0(13)(A)) (COMPLIES)
- I. BICYCLE RACKS SHALL BE PROVIDED FOR ALL MULTIFAMILY AND NONRESIDENTIAL DEVELOPMENTS AT THE RATIO OF ONE BICYCLE SPACE FOR EACH DWELLING UNIT OR ONE BICYCLE SPACE FOR EACH 200 OFF-STREET PARKING SPACES OR FRACTION THEREOF OVER 200 SPACES. (§ 315-30.0(14)) (COMPLIES-BIKE ROOM PROVIDED)
- J. PARKING CALCULATION (BCRP-II 4.2 TABLE 1) (LOT A):
- | | | |
|--|---------------------------------|-----------------------|
| REQUIRED: | | |
| RESIDENTIAL: | 1.4 SPACES PER RESIDENTIAL UNIT | = 175 SPACES REQUIRED |
| RETAIL: | 2.7 SPACES PER 1,000 SF | = 18 SPACES REQUIRED |
| 125 UNITS x 1.4 PARKING SPACES/UNIT | | = 175 SPACES REQUIRED |
| 6,500 SF x 2.7 PARKING SPACES/1,000 SF | | = 174 SPACES REQUIRED |
| | TOTAL REQUIRED | = 193 SPACES |
- MINIMUM ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) REQUIREMENTS PER P.L. 2021, C. 171(BILL S3223):
- | | | |
|--|------------------------------|--------------------------------|
| MIXED-USE/MULTI-FAMILY (15% OF TOTAL REQUIRED PARKING) | MINIMUM EVSE SPACES REQUIRED | = 193 SPACES X 15% = 29 SPACES |
| | TOTAL EVSE SPACES PROPOSED | = 29 SPACES |
- EVSE PARKING CREDIT*:
- | | | |
|--|-------------------------------|--------------|
| 29 SPACES OR MAX CREDIT (193 SPACES X 10%) | NET PARKING WITH EVSE CREDIT* | = 193 SPACES |
| | TOTAL PROVIDED | = 174 SPACES |
- * PER P.L. 2021, C. 171(BILL S3223), A PARKING SPACE PREPARED WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT OR MAKE-READY EQUIPMENT SHALL COUNT AS AT LEAST TWO PARKING SPACES FOR THE PURPOSE OF COMPLYING WITH A MINIMUM PARKING SPACE REQUIREMENT, RESULTING IN A REDUCTION OF NO MORE THAN 10 PERCENT OF THE TOTAL REQUIRED PARKING.

GENERAL NOTES (CONTINUED)

- LOADING REQUIREMENTS
 - A. IN ANY BUILDING OR BUILDING GROUP OR PART THEREOF HEREAFTER ERRECTED AND HAVING A GROSS FLOOR AREA OF 10,000 SQUARE FEET OR MORE OF NONRESIDENTIAL SPACE, THERE SHALL BE PROVIDED AND MAINTAINED ON THE SAME ZONE LOT WITH SUCH BUILDING, OFF-STREET LOADING BERTHS. (§ 315-30.0(P1)) (NOT APPLICABLE)
- DRIVEWAY REQUIREMENTS
 - A. THERE SHALL BE ADEQUATE PROVISIONS FOR SAFE AND CONVENIENT INGRESS AND EGRESS TO ALL PARKING AREAS. (§ 315-30.0(B)(A)) (COMPLIES)
 - B. CURB CUTS FOR TWO-WAY TRAFFIC SHALL BE NOT LESS THAN 22 FEET. EACH ADDITIONAL LANE SHALL INCREASE THE CURB CUT BY 10 FEET. (§ 315-30.0(B)(B)) (COMPLIES)
 - C. EVERY PARKING AREA SHALL HAVE DIRECT ACCESS TO A STREET OR ALLEY. DRIVEWAYS SHALL HAVE A MINIMUM WIDTH OF 10 FEET FOR ONE-WAY TRAFFIC AND 22 FEET FOR TWO-WAY TRAFFIC. (§ 315-30.0(B)(C)) (COMPLIES)
 - D. PARKING AREAS, LOADING AREAS AND DRIVEWAYS SHALL BE CURBED WITH GRANITE BLOCK AND PAVED. (§ 315-30.0(12)(D)) (COMPLIES)
 - E. ACCESS DRIVES TO NONRESIDENTIAL PARKING LOTS SHALL HAVE A MAXIMUM WIDTH OF A ONE-WAY DRIVEWAY SHALL BE 12 FEET, THE MAXIMUM WIDTH OF A TWO-WAY DRIVEWAY SHALL BE 24 FEET. (§ 315-40.0(1)) (COMPLIES)
 - F. ACCESS DRIVES TO NONRESIDENTIAL PARKING LOTS SHALL NOT BE PERMITTED WITHIN 25 FEET OF ANY STREET INTERSECTION. (§ 315-40.0(2)) (COMPLIES)
- BUFFER REQUIREMENTS
 - A. BUFFERING SHALL BE LOCATED TO MINIMIZE HEADLIGHTS OF VEHICLES, NOISE, LIGHT FROM STRUCTURES, THE MOVEMENT OF PEOPLE AND VEHICLES AND TO SHIELD ACTIVITIES FROM ADJACENT PROPERTIES WHEN NECESSARY. BUFFERING MAY INCLUDE BUT NOT BE LIMITED TO FENCING, WALLS, EVERGREENS, SHRUBS, LANDSCAPING, BERMS, ROCKS, BOUNDERS, OPEN SPACE, PONDS, STEEP SLOPES, DECIDUOUS TREES OR COMBINATIONS THEREOF TO ACHIEVE THE STATED OBJECTIVES. (§ 315-29.0(1)) (COMPLIES)
- FENCE REQUIREMENTS
 - A. FENCES IN EXCESS OF FOUR FEET IN HEIGHT ARE PERMITTED IN THE REAR YARD ONLY. NO FENCE SHALL EXCEED SIX FEET IN HEIGHT. FENCES ENCLOSING INDUSTRIAL USES MAY BE SIX FEET HIGH IN ALL YARDS, PROVIDED ADEQUATE SIGHT DISTANCES INTO AND OUT OF THE PROPERTY ARE PRESERVED AND THE FENCE COMPLIES WITH ALL OTHER PROVISIONS OF THIS SECTION. (§ 315-43.0) (COMPLIES)
 - B. NO FENCE SHALL BE ERRECTED THAT WOULD CREATE A HAZARD EITHER BY THE MANNER OR CONSTRUCTION OR THE MATERIALS USED OR THAT MAY CAUSE INJURY DUE TO JAGGED END SURFACES, SPIKES OR POINTS. (§ 315-43.1) (COMPLIES)
 - C. NO FENCE SHALL BE ERRECTED OF NONSTANDARD MATERIALS THAT MAY BE CONSIDERED MAKESHIFT, CREATE AN EYECORE OR CAUSE AN ANNOYANCE. (§ 315-43.0) (COMPLIES)
- BUS STOPS (BCRP-II 3.2)
 - A. BUS STOPS LOCATED THROUGHOUT THE DOWNTOWN PROVIDE AN IMPORTANT MEANS OF TRANSPORTATION AND ACCESS TO OTHER TOWNS AND CITIES IN THE REGION. IN ADDITION, BUS STOPS DRAW LARGE GROUPS OF USERS TO THE DOWNTOWN PROVIDING A STRONG CUSTOMER BASE AND IMPORTANT SOURCE OF REVENUE FOR MANY DOWNTOWN STORES. TO ENSURE THAT EXISTING BUS STOPS ARE STRATEGICALLY LOCATED AND ARE COMFORTABLE, SAFE AND CONVENIENT TO USERS, THE FOLLOWING IMPROVEMENTS ARE RECOMMENDED:
 - i. SHUTTLE TO LINK REMOTE PARTS OF BLOOMFIELD TO THE CENTER, OR EXAMINATION OF EXISTING TRANSIT TO ENSURE THAT REMOTE AREAS ARE LINKED TO THE CENTER
 - ii. A STUDY THAT ANALYZES EXISTING BUS STOP LOCATIONS THROUGHOUT THE DOWNTOWN AND CONFIRMS THIS PLAN'S RECOMMENDATIONS
 - iii. ALL BUS STOPS INCLUDE AT A MINIMUM SEATING, BUS SHELTER, SIGNAGE, BUS SCHEDULE/ROUTE INDICATION AND AMBLE LIGHTING
 - iv. LINK BUS STOPS WITH PEDESTRIAN CROSSING AND PUBLIC SPACE IMPROVEMENTS
- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT SAID SUBMISSION WAIVERS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, AND CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
- SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDINGS WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C. ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C., NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR MAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMISSIONS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS. COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS, ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACK DIMENSIONS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
- CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
- CONTRACTOR IS ADVISED THAT THE ENGINEER HAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN, AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE COORDINATED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMP AND ACCESSIBLE ROUTE MUST COMPLY WITH NJAC 5-23-7.1 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACES TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.



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 F: 732.974.3521
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TITLE: **OVERALL SITE PLAN**

PROJECT: **BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC
 PROPOSED MIXED-USE DEVELOPMENT**

11-13 BROAD STREET
 TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY

JOB No: 2340-23-03088
 DATE: 01/05/2024

DRAWN BY: NSR
 SCALE: (H) 1"=30'
 (V)

DESIGNED BY: NSR
 SHEET No:

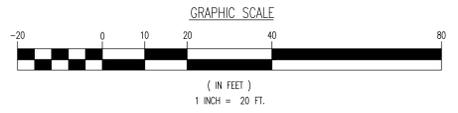
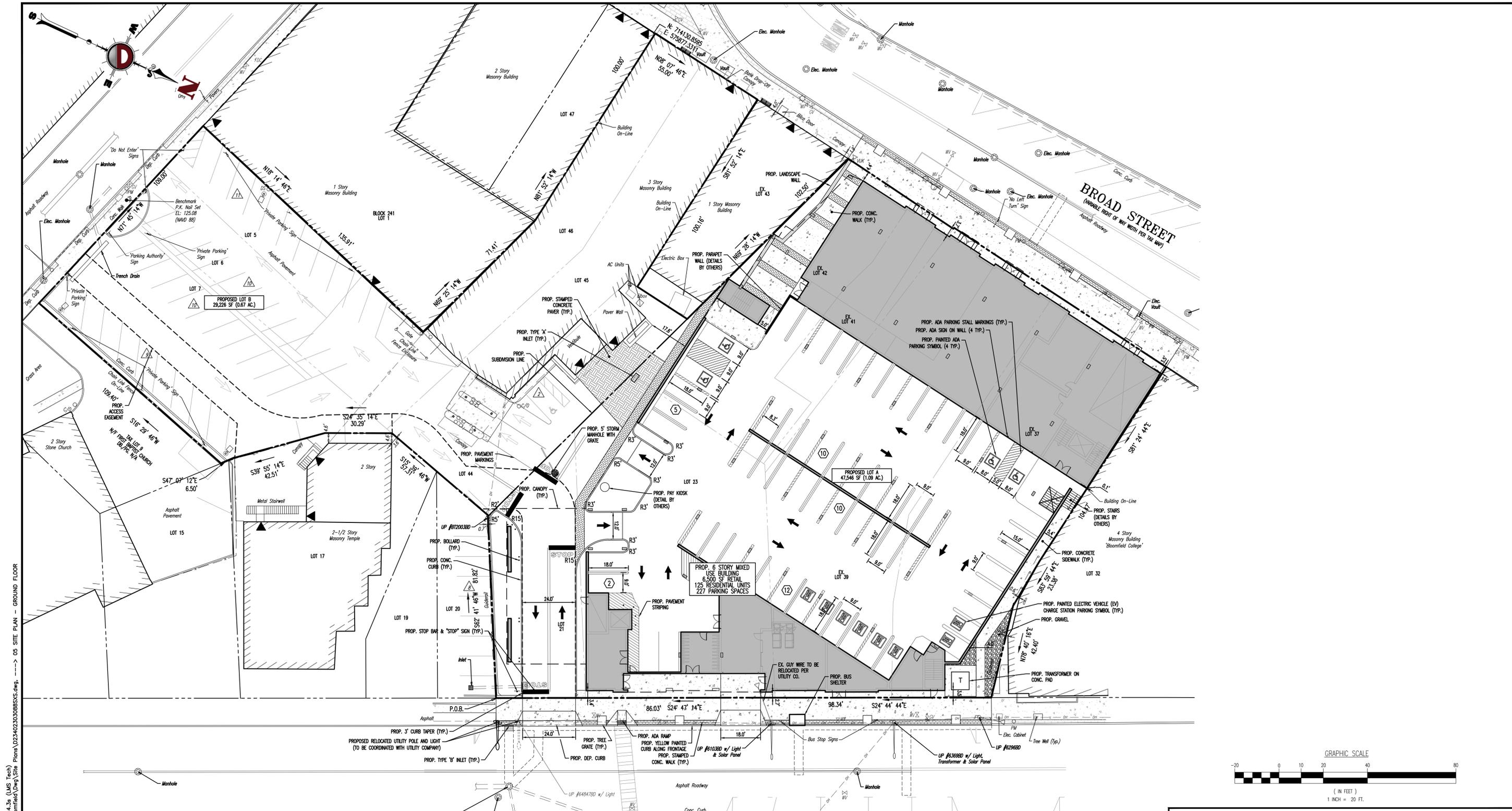
CHECKED BY: JLG
 CHECKED BY: -

JACQUELYN GIORDANO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 53558

ROBERT P. FREUD
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41938

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 PREPARED TO OPEN THE GROUND
 SPACE APPROX. 48 HRS. PRIOR
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Rev. # 1



FRANKLIN STREET
(AKA COUNTY ROUTE 509)
(66' RIGHT OF WAY WIDTH PER TAX MAP)

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TITLE: **SITE PLAN - GROUND FLOOR**

PROJECT: **BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC**
PROPOSED MIXED-USE DEVELOPMENT
BLOCK 241, LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46
11-13 BROAD STREET
TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY

JOB No: 2340-23-03088
DATE: 01/05/2024
DRAWN BY: NSR
SCALE: (H) 1"=20'
(V)
DESIGNED BY: NSR
SHEET No:
CHECKED BY: JLG
CHECKED BY: -

JACQUELYN GIORDANO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 53558

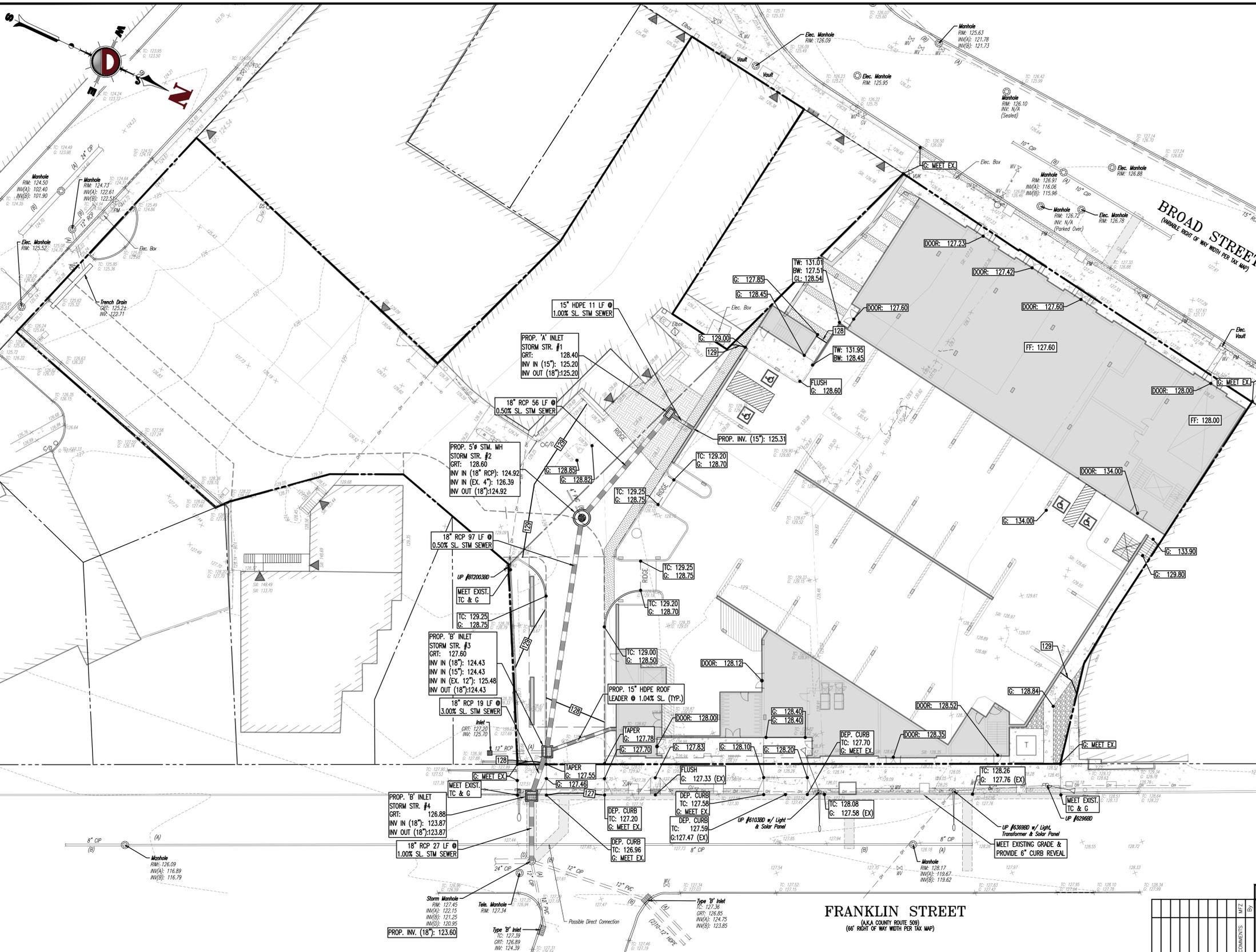
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Product Ver: 24.3s (LMS Tech)
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 File: P:\cscp_projects\2340 metro real estate companies\23-03088 bloomfield\dwg\Site Plans\23402303088ESG.dwg, ---> 06 GRADING AND DRAINAGE PLAN



- ### GRADING NOTES
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOILS BELONGING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MIN. SLOPE AGAINST ALL ISLAND CURBS, CURBS AND LOW ON ALL CONCRETE SURFACES, AND 1-1/2% MIN. ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COSTS, MUST BE REFERRED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6\"/>

- ### DRAINAGE NOTES
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
 - ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
 - MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS II, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS HE-III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MORTAR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C-940 TO BE UTILIZED TO PROVIDE A SILT-TIGHT JOINT, WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATER-TIGHT AND CONFORM TO ASTM C-443.
 - HOPPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORMED PIPE SHALL HAVE GASKETED SLE-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
 - HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12\"/>

GRAPHIC SCALE
 0 10 20 40 60
 (IN FEET)
 1 INCH = 20 FT.

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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TITLE: **GRADING AND DRAINAGE PLAN**

PROJECT: **BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC
 PROPOSED MIXED-USE DEVELOPMENT**

BLOCK: 241 - LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46
 11-13 BROAD STREET
 TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY

JOB No: 2340-23-03088
 DATE: 01/05/2024
 DRAWN BY: NSR
 SCALE: (H) 1"=20'
 (V)
 DESIGNED BY: NSR
 SHEET No:
 CHECKED BY: JLG
 CHECKED BY: -

JACQUELYN GIORDANO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 53558

ROBERT P. FREUD
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41938

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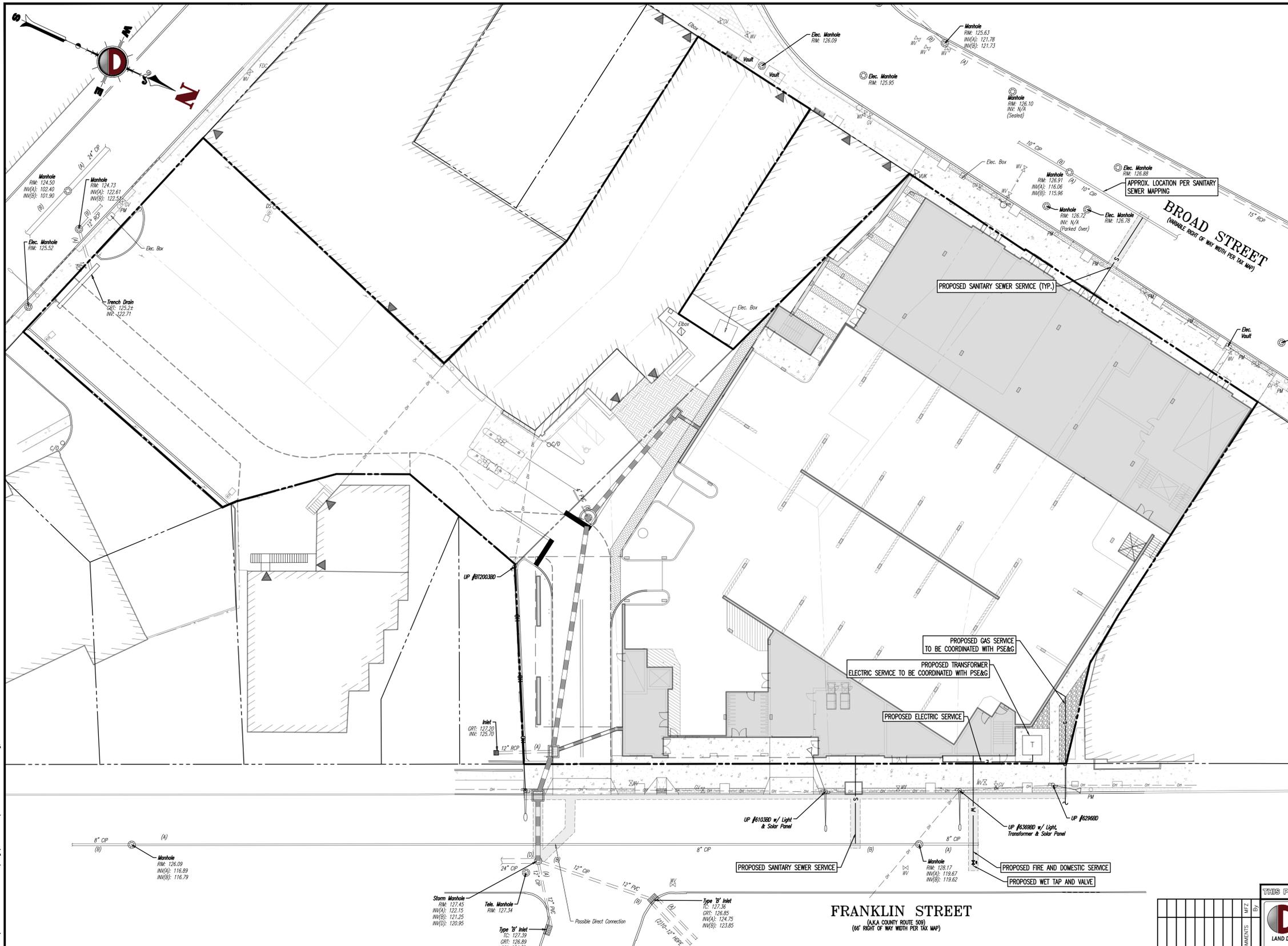
Rev. # 1

GRADING/UTILITY GRAPHIC LEGEND

PROF. WATER VALVE	PROPERTY LINE (PARCEL IN QUESTION)	G: 000.00	PROP. GRADE SPOT ELEV.
PROF. GAS VALVE	OFF-SITE PROPERTY LINES	TC: 000.00	PROP. TOP OF CURB & FINISHED GRADE ELEV.
PROF. STORM CLEANOUT	PROP. CABLE LINE	G: 000.00	PROP. FINISHED FLOOR ELEV.
PROF. SANITARY CLEANOUT	PROP. ELECTRIC LINE	FF: 000.00	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
PROP. AREA LIGHT	PROP. FIBER OPTIC LINE	TW: 000.00	PROP. TOP OF EXTENDED CURB (OH FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB @ TC), FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
PROP. OUTLET CONTROL STRUCTURE	PROP. GAS LINE	GL: 000.00	PROP. DIRECTION OF DRAINAGE FLOW ARROW
PROP. DRAINAGE MANHOLE	PROP. OVERHEAD WIRES	OH: 000.00	
PROP. SANITARY SEWER MANHOLE	PROP. TELEPHONE LINE	TC: 000.00	
PROP. "A" INLET	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	UL: 000.00	
PROP. "B" INLET	PROP. WATER LINE	W: 000.00	
PROP. "E" INLET	PROP. FIRE SERVICE	FS: 000.00	
PROP. YARD INLET	PROP. SANITARY SEWER LINE	S: 000.00	
PROP. FLARED END SECTION	PROP. STORM DRAIN LINE	SD: 000.00	
PROP. HEADWALL	PROP. FINISH GRADE CONTOUR & ELEVATION	XX: 000.00	



Product Ver: 24-3s (LMS Tech)
 Plotted: 02/26/24 - 10:51 AM, By: mzimmerman, File: P:\dec_projects\2340 metro real estate companies\23-03088 bloomfield\dwg\Site Plans\23403402303088SU1.dwg, ----> 07 UTILITY PLAN



- ### UTILITY NOTES
- LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UTILITY "ONE-CALL" NUMBER 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER & SEWER DEPARTMENTS TO MARK-OUT THEIR UTILITIES.
 - REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME. SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
 - WATER SERVICE MATERIALS SHALL BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE A COMPLETE WORKING SERVICE.
 - ALL WATER MAIN SHALL BE CEMENT-LINED, CLASS 52 DUCTILE IRON PIPE, UNLESS OTHERWISE DESIGNATED.
 - THE MINIMUM DIAMETER FOR DOMESTIC WATER SERVICES SHALL BE 1 INCH.
 - ALL SANITARY SEWER MAINS SHALL BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH SEPARATION IS NOT POSSIBLE, THE PIPES SHALL BE IN SEPARATE TRENCHES WITH THE SEWER MAIN AT LEAST 18 INCHES BELOW THE WATER MAIN OR SUCH OTHER SEPARATION AS APPROVED BY THE APPROVING AUTHORITY. WHERE APPROPRIATE CROSSING SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER SHALL BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER MAIN AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER SHALL BE PROVIDED. THE APPROVING AUTHORITY MAY REQUIRE ADDITIONAL STRUCTURAL SUPPORT FOR STORM SEWER CROSSING OVER SEWER LINES.
 - ALL SANITARY SEWER MAINS SHALL BE SDR-35 PVC PIPE MATERIAL UNLESS OTHERWISE DESIGNATED. SEWER PIPES INSTALLED WITH LESS THAN 3 FEET OF COVER, GREATER THAN 20 FEET OF COVER OR WITHIN 18 INCHES OF A WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE. ALL DUCTILE IRON SEWER PIPE SHALL BE CEMENT-LINED, CLASS 52 PIPE, FURNISHED WITH SEWER JOINT, OR APPROVED EQUIV.
 - WHERE SANITARY SEWER LATERALS ARE GREATER THAN 10' DEEP AT CONNECTION TO THE SEWER MAIN, CONCRETE DEEP LATERAL CONNECTIONS ARE TO BE UTILIZED.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE STABILIZATION OF THE EXISTING SEWER MAIN, STRUCTURES AND APPURTENANCES DURING CONNECTION.
 - LOCATION & LAYOUT OF GAS, ELECTRIC & TELECOMMUNICATION UTILITY LINES AND SERVICES SHOWN ON THESE PLANS ARE SCHEMATIC IN NATURE. ACTUAL LOCATION & LAYOUT OF THESE UTILITIES & SERVICES ARE TO BE PER THE APPROPRIATE UTILITY PROVIDER.
 - ROOF LEADER COLLECTION PIPING ARE CONCEPTUAL IN NATURE AND ARE NOT FOR CONSTRUCTION. ACTUAL ROOF LEADER COLLECTION PIPING IS TO BE COORDINATED W/ ARCHITECTURAL PLANS FOR EACH INDIVIDUAL BUILDING. ALL ROOF LEADER COLLECTION PIPING SHALL BE SCHEDULE 40 PVC UNLESS OTHERWISE DESIGNATED.
 - ALL SEWER AND WATER FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATORY AUTHORITY'S RULES AND REGULATIONS.
 - ALL PROPOSED UTILITIES TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
 - MANUFACTURED REINFORCED CONCRETE STORM PIPE TO CONFORM TO ASTM C-76, CLASS III, UNLESS OTHERWISE DESIGNATED. MANUFACTURED REINFORCED CONCRETE ELLIPTICAL STORM PIPE TO CONFORM TO ASTM C-507, CLASS HE-III, UNLESS OTHERWISE DESIGNATED. REINFORCED CONCRETE STORMWATER PIPE TO BE INSTALLED IN ACCORDANCE WITH AMERICAN CONCRETE PIPE ASSOCIATION INSTALLATION GUIDELINES AND MOROR OR PREFORMED FLEXIBLE JOINT SEALANTS IN ACCORDANCE WITH ASTM C 990 TO BE UTILIZED TO PROVIDE A SILT-TIGHT JOINT. WHERE SPECIFICALLY INDICATED, REINFORCED CONCRETE STORM PIPE JOINTS SHALL BE WATERTIGHT AND CONFORM TO ASTM C-443.
 - HOPE DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2306. SOLID PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM D3212. PERFORATED PIPE SHALL HAVE GASKETED SILT-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM F2306 AND ASTM F477. HOPE PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HOPE PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURE RECOMMENDATIONS.
 - HP DRAINAGE PIPE SHALL HAVE A SMOOTH WALL INTERIOR WITH ANNUAL EXTERIOR CORRUGATIONS AND CONFORM TO ASTM F2736 (12"-30" PIPE) AND ASTM F2881 (36"-60" PIPE). PIPE SHALL HAVE GASKETED WATER-TIGHT JOINTS MEETING THE REQUIREMENTS OF ASTM D3212 AND ASTM F477. FIELD WATERTIGHTNESS PERFORMANCE VERIFICATION MAY BE ACCOMPLISHED IN ACCORDANCE WITH ASTM F2487. HP PIPE SHALL BE FROM A MANUFACTURER WHO IS AN EASTERN STATES CONSORTIUM (ESC) QUALIFIED MANUFACTURER OF HP STORM PIPE AND INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER RECOMMENDATIONS.
 - PIPE LENGTHS ON THIS PLAN HAVE BEEN MEASURED AS THE DISTANCE BETWEEN THE CENTER POINT OF THE 2 CONNECTED STRUCTURES. ACTUAL PHYSICAL PIPE LENGTH FOR INSTALLATION IS EXPECTED TO BE LESS AND SHOULD BE ACCOUNTED FOR BY THE CONTRACTOR ACCORDINGLY.
 - FINAL UTILITY DESIGN TO BE COORDINATED WITH UTILITY COMPANY AND ARCHITECTURAL CONSTRUCTION DRAWINGS.

FRANKLIN STREET
 (66' RIGHT OF WAY WIDTH PER TAX MAP)

PROPOSED GAS SERVICE TO BE COORDINATED WITH PSE&G

PROPOSED TRANSFORMER ELECTRIC SERVICE TO BE COORDINATED WITH PSE&G

PROPOSED ELECTRIC SERVICE

PROPOSED FIRE AND DOMESTIC SERVICE

PROPOSED WET TAP AND VALVE

GRAPHIC SCALE
 1 INCH = 20 FT.

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 Newmarket, Pennsylvania T: 570.485.0276 | Philadelphia, Pennsylvania T: 215.253.4880 | Bethlehem, Pennsylvania T: 610.598.4000 | Annapolis, Maryland T: 410.547.5000

UTILITY PLAN

PROJECT: **BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC**
PROPOSED MIXED-USE DEVELOPMENT
 BLOCK 241 - LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46
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JOB No: 2340-23-03088 DATE: 01/05/2024
 DRAWN BY: ARK SCALE: (H) 1"=20'
 DESIGNED BY: NSR (V)
 CHECKED BY: JLG SHEET No:
 CHECKED BY: -

JACQUELYN GIORDANO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 53558

ROBERT P. FREUD
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41938

811 PROTECT YOURSELF
 ALL STATES REQUIRE NOTIFICATION OF EXISTING UTILITIES. IF ANY UTILITY PREPARED TO EXCAVE THE SITE'S SERVICE AREAS, IN NJ, 985.
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Rev. # 1

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PROP. SANITARY CLEANOUT	PROP. ELECTRIC LINE	FF: 000.00	PROP. TOP OF WALL & FINISHED GRADE @ LOW SIDE OF WALL (ACTUAL BOTTOM OF WALL FOOTING TO BE ESTABLISHED BY WALL DESIGNER)
PROP. AREA LIGHT	PROP. FIBER OPTIC LINE	TH: 000.00	PROP. TOP OF EXTENDED CURB (OH FINISHED GRADE @ HIGH SIDE OF EXTENDED CURB @ FC)
PROP. OUTLET CONTROL STRUCTURE	PROP. GAS LINE	GL: 000.00	FINISHED GRADE @ LOW SIDE OF EXTENDED CURB
PROP. DRAINAGE MANHOLE	PROP. OVERHEAD WIRES	TC: 000.00	PROP. DIRECTION OF DRAINAGE FLOW ARROW
PROP. SANITARY SEWER MANHOLE	PROP. TELEPHONE LINE	OH: 000.00	
PROP. "A" INLET	PROP. UNDERGROUND ELEC./TELE. SERVICE (NO. & SIZE OF CONDUITS NOT DEFINED)	UET: 000.00	
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PROP. "E" INLET	PROP. FIRE SERVICE	FS: 000.00	
PROP. YARD INLET	PROP. SANITARY SEWER LINE	S: 000.00	
PROP. FLARED END SECTION	PROP. STORM DRAIN LINE	SD: 000.00	
PROP. HEADWALL	PROP. FINISH GRADE CONTOUR & ELEVATION	XX: 000.00	

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

- PLANTING SPECIFICATIONS**
- SCOPE OF WORK
 - THIS WORK SHALL CONSIST OF PERFORMING CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPROPRIATE NECESSARY FOR THE COMPLETION OF THIS PROJECT.
 - MATERIALS
 - GENERAL - ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION (LATEST EDITION) OR APPROVED EQUAL.
 - PLANTS - ALL PLANTS SHALL BE HEALTHY OR NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS.
 - TOPSOIL - LOAMY SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, pH RANGE BETWEEN 4.5 - 7, BE FREE OF DEBRIS, ROCKS LARGER THAN TWO INCHES (2"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
 - MULCH - FOUR (4) INCHES DOUBLE SHREDED HARDWOOD BARK MULCH.
 - FERTILIZER AND SOIL CONDITIONER - PLANTED AREAS SHALL BE PLANTED AS FOLLOWS:
 - ORGANIC FERTILIZER - SHALL BE PROCESSED SEWER SLUDGE WITH MINIMAL CONTENT OF 1% NITROGEN AND 2% PHOSPHORIC ACID, EQUAL TO "NITROHUMS".
 - ORGANIC FERTILIZER AND SOIL CONDITIONER SHALL BE "0-0-10" POWER" AND ORGANIC BASE MATERIALS COMPRISED OF RECOMPOSED ANIMAL AND VEGETABLE MATTER AND COMPOSTED TO SUPPORT BACTERIAL CULTURES, CONTAINING NO POULTRY OR HUMAN WASTE, GUARANTEED ANALYSIS (5-3-1): NITROGEN 5%, PHOSPHORIC ACID 3%, POTASH 1%, 50% HUMUS AND 15% HUMIC ACIDS.
 - GENERAL WORK PROCEDURES
 - LANDSCAPE WORK SHALL COMMENCE AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE. CONTRACTOR TO UTILIZE WORKMANLIKE STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH DAY'S WORK. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STOCKPILED OR DISPOSED OF. ALL PAVED SURFACES SHALL BE SWEEP CLEAN AT THE END OF EACH DAY'S WORK.
 - BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
 - TOPSOILING
 - CONTRACTOR TO PROVIDE A 4" THICK TOPSOIL LAYER IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO PRODUCE A UNSETTLED THICKNESS TOPSOIL PRESENT AT THE SITE. IF ANY MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED, CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE TOPSOIL UTILIZED IN ALL PLANTING AREAS. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM.
 - SOIL CONDITIONING
 - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE. SPREAD EVENLY IN ALL PLANTING AREAS AND TILL (2 DIRECTIONS) INTO TOP 4" WITH THE FOLLOWING PER 1,000 SQ. FT.:
 - 100 POUNDS AGRICULTURAL GYPSUM
 - 20 POUNDS NITROGEN (SOURCE) 38-0-0 BLUE CHP
 - SOIL MODIFICATIONS
 - THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SITES TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. USE COMPOSTED YARD WASTE OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.5.
 - MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY) OR SILT (BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RASPED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE OR DRAINAGE TILES.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
 - PLANTING
 - PLANTING PITS SHALL BE MADE WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACK FILLED WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
 - 1 PART COW MANURE BY VOLUME
 - 3 PARTS TOPSOIL BY VOLUME
 - 21 GRAM AGRICULTURAL GYPSUM TABLETS AS FOLLOWS:
 - 2 TABLETS PER 1 GAL. PLANT
 - 1 TABLET PER 1 GAL. PLANT
 - 4 TABLETS PER 15 GAL. PLANT
 - LARGER PLANTS (2") TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER
 - PREPARED SOIL SHALL BE TAMPED FROM AT BOTTOM OF PIT, FILL PREPARED SOIL AROUND BALL OF PLANT 1/2" WAY, AND INSERT PLANT TABLETS. COMPLETE BACK FILL AND WATER THOROUGHLY.
 - ALL PLANTS SHALL BE SET SO THAT THEY BEAR THE SAME RELATION TO THE REQUIRED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED.
 - PREPARE EARTH BASIN AS WIDE AS PLANTING HOLE OF EACH TREE.
 - WATER IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACK FILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED.
 - PRUNE ALL PROCURED TREES DIRECTLY ADJACENT TO WALKWAYS TO A MAX. OF 7 BRANCHING HEIGHT.
 - GROUND COVER
 - GROUND COVER AREAS SHALL BESEED A 1/4" LAYER OF HUMUS BLENDED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
 - SPACING VARIETY OF GROUND COVER SHALL BE AS SHOWN ON DRAWINGS.
 - IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH FINAL LANDSCAPE INSPECTION. CONTRACTOR SHALL WEED PRIOR TO APPLYING PRE-EMERGENT. PRE-EMERGENT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.
 - FINISH GRADING
 - ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS 1 FOOT OF FINISH GRADE.
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLAN WITH NO ABRUPT CHANGES OF SURFACE, UNLESS OTHERWISE SPECIFIED BY LANDSCAPE ARCHITECT. SOIL AREAS ADJACENT TO THE BUILDING SHALL SLOPE AWAY.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
 - CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT LOSS OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASS A FINAL INSPECTION BY THE OWNER OR OWNER'S REPRESENTATIVE.
 - GUARANTEE
 - CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM ACCEPTANCE OF JOB. OWNER TO SECURE A MAINTENANCE BOND FROM THE CONTRACTOR FOR TEN PERCENT LOSS OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE COMMENCEMENT OF THE GUARANTEE PERIOD AND PASS A FINAL INSPECTION BY THE OWNER OR OWNER'S REPRESENTATIVE.
 - MAINTAINANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.
 - CLEANUP
 - AFTER THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
 - MAINTAIN AND PROTECT ALL OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADERS OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WEEDINGS AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - MAINTAIN LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF EROSION OR SHAG AREAS.
 - MAINTENANCE (ALTERNATE BID) COST PER MONTH AFTER INITIAL 90-DAY MAINTENANCE PERIOD.

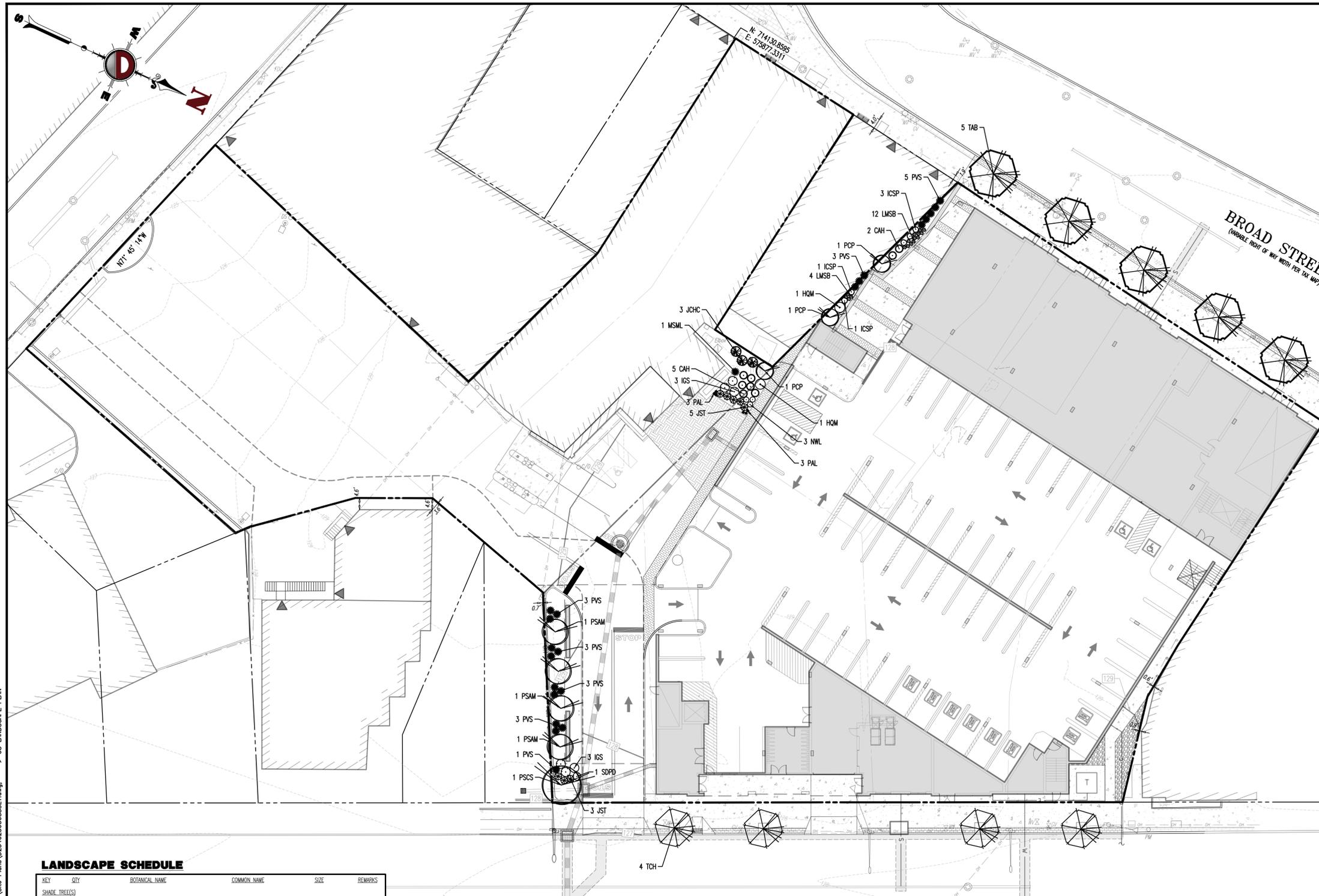
- PLANTING NOTES**
- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ADJUSTMENT. LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
 - CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
 - ALL PLANT MATERIAL TO BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE (1) YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCESSFUL PLANTING SEASON. THE CONTRACTOR SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY PLANT MATERIAL THAT DOES NOT SURVIVE. PLANTING SHALL BE COMPLETED PRIOR TO THE END OF THE PLANTING SEASON. THE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR REPLACING ANY PLANT MATERIAL THAT DOES NOT SURVIVE DURING THIS PERIOD. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
 - QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z601 (REV. 2001) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
 - ALL PLANTS SHALL BE PLANTED IN AMENDED TOPSOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
 - PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME. SOIL TO BE TAMPED TO PROTECT THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
 - PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MOODY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE STORED WITH CARE AND PROTECTED FROM DAMAGE.
 - NO PLANT PLUMBS AND STRAIGHT, SET AT SUCH LEVEL THAT A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. PLANTS SHALL BE PLANTED IN THE CENTER OF THE PIT.
 - ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE CROWN OF LARCE AND OAK BY THE TRUNK AND OVER BY THE BRANCHES OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK. LONG, SLIM, SLIP BRANCHES, HOWEVER, MUST BE SHORTENED.
 - EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
 - ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES AS A RESULT OF CONSTRUCTION OPERATIONS. ALL EXISTING TREES SHALL BE FERTILIZED WITH A SOLUBLE CARBON FERTILIZER (6-10-5) UPON COMPLETION OF WORK. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR TO ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH SHARP TOOLS AND FILLED AROUND WITH TOPSOIL. COMPLETELY SATURATE THESE AREAS WITH WATER. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR IS TO PROTECT ALL EXISTING TREES TO REMAIN BY PROTECTIVE FENCING AT THE TRUNK LINE. THIS WILL ENSURE NO COMPACTION OF ROOT MASS.
 - NEW PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDED HARDWOOD BARK MULCH.
 - NEW PLANTING AREAS SHALL BE ACCURATELY IRRIGATED OR WATERED TO ESTABLISH THE PROPOSED PLANTS AND LAWN.
 - ALL PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE AS SHOWN ON THE APPROVED LANDSCAPE PLAN MUST BE INSTALLED, INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL HAVE THE RIGHT TO MAKE ANY CHANGES TO THE LANDSCAPE PLAN CONSIDERING IN THIS REGARD AS FOLLOWS: THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER AS REQUIRED BY OR ASSOCIATED WITH A SUBDIVISION OR SITE PLAN APPROVAL BY THE PLANNING BOARD OR ZONING BOARD OF ADJUSTMENT SHALL BE INSTALLED DURING THE FOLLOWING PLANTING SEASONS:

TYPE	DATES
PLANTS	3/15 TO 12/15
LAWN	3/15 TO 6/15
	9/15 TO 12/1

FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON:

NEEDLE TREES	POPULUS VARIETIES
ABIES VARIETIES	POPULUS VARIETIES
BETULA VARIETIES	PRUNUS VARIETIES
CARPINUS VARIETIES	PYRUS VARIETIES
CORYLUS VARIETIES	QUERCUS VARIETIES
KOELBERIA	SALIX WEeping VARIETIES
LIQUIDAMBAR STRYACELLA	TILIA VARIETIES
LIRIODENDRON TULIPIFERA	ZELKOVA VARIETIES
PLATANUS ACERIFOLIA	

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT. PRIOR TO PLANTING, FAILURE TO COMPLY WITH THESE REQUIREMENTS WILL REQUIRE THE REMOVAL OF THE PLANTING IN QUESTION. THIS REQUIREMENT DOES NOT APPLY TO SEEDING OR SOODING OR PLANTINGS SPECIFICALLY FOR SOIL STABILIZATION PURPOSES. THE PLANTING ASSOCIATED WITH ANY LOT GIVEN A CERTIFICATE OF OCCUPANCY OUTSIDE THESE PERIODS SHALL BE PROVIDED DURING THE PREVIOUS OR NEXT APPROPRIATE SEASON.

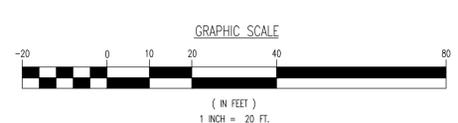


LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
SHADE TREES(S)					
TAB	5	TILIA AMERICANA 'BOULEVARD'	BOULEVARD LINDEN	2 1/2-3" CAL.	B+B
TCH	4	TILIA CORDATA 'HALKA'	SUMMER SPRITE LINDEN	2 1/2-3" CAL.	B+B
ORNAMENTAL TREES(S)					
PCP	3	PRUNUS CERASIFERA 'COPPOZAM'	CRIMSON POINTE FLOWERING PLUM	8-10"	B+B
PSAM	4	PRUNUS SEROTINA 'MAMMOZAM'	MANOSABA CHERRY	2-2 1/2" CAL.	B+B
PSCS	1	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	2-2 1/2" CAL.	B+B
EVERGREEN SHRUBS(S)					
ICSP	5	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL HOLLY	3-4"	#3 CAN
ICS	6	ILEX GLABRA 'SHAMROCK'	SHAMROCK INBERRY HOLLY	24-30"	#3 CAN
JCHC	3	JUNIPERUS CHINENSIS 'HETZI COLUMNARIS'	COLUMNAR HETZ JUNIPER	4-5"	B+B
JST	8	JUNIPERUS SABINA VAR. TAMARISCIFOLIA	TAM JUNIPER	15-18" SPRO.	#3 CAN
DECIDUOUS SHRUBS(S)					
CAH	8	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	24-30"	#3 CAN
HM	2	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	24-30"	#3 CAN
SOFD	1	SPirea x 'NICKS2'	DOUBLE PLAY DOOZIE SPIREA	2-5"	#3 CAN
GROUND COVER					
LMSB	16	LIRIOPE MUSCARI 'SUPER BLUE'	SUPER BLUE LILYTURF	1 GAL.	#1
PERENNIAL(S)					
NWL	3	NEPETA x FASSENI 'WALKER'S LOW'	WALKER'S LOW CATMINT	2 GAL.	CONTAINER
ORNAMENTAL GRASSES(S)					
MSML	1	MISCANTHUS SINENSIS 'MORNING LIGHT'	SILVER VAREGATED MILDEN GRASS	3 GAL.	CONTAINER
PAL	6	PENNETSETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	2 GAL.	CONTAINER
PVS	21	PANDIUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2 GAL.	CONTAINER

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL PREVAIL.

FRANKLIN STREET
(AKA COUNTY ROUTE 509)
(66' RIGHT OF WAY WIDTH PER TAX MAP)



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LANDSCAPE PLAN

PROJECT: **BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC**
PROPOSED MIXED-USE DEVELOPMENT

BLOCK 241, LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46
11-13 BROAD STREET
TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY

JACQUELYN GIORDANO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 53558

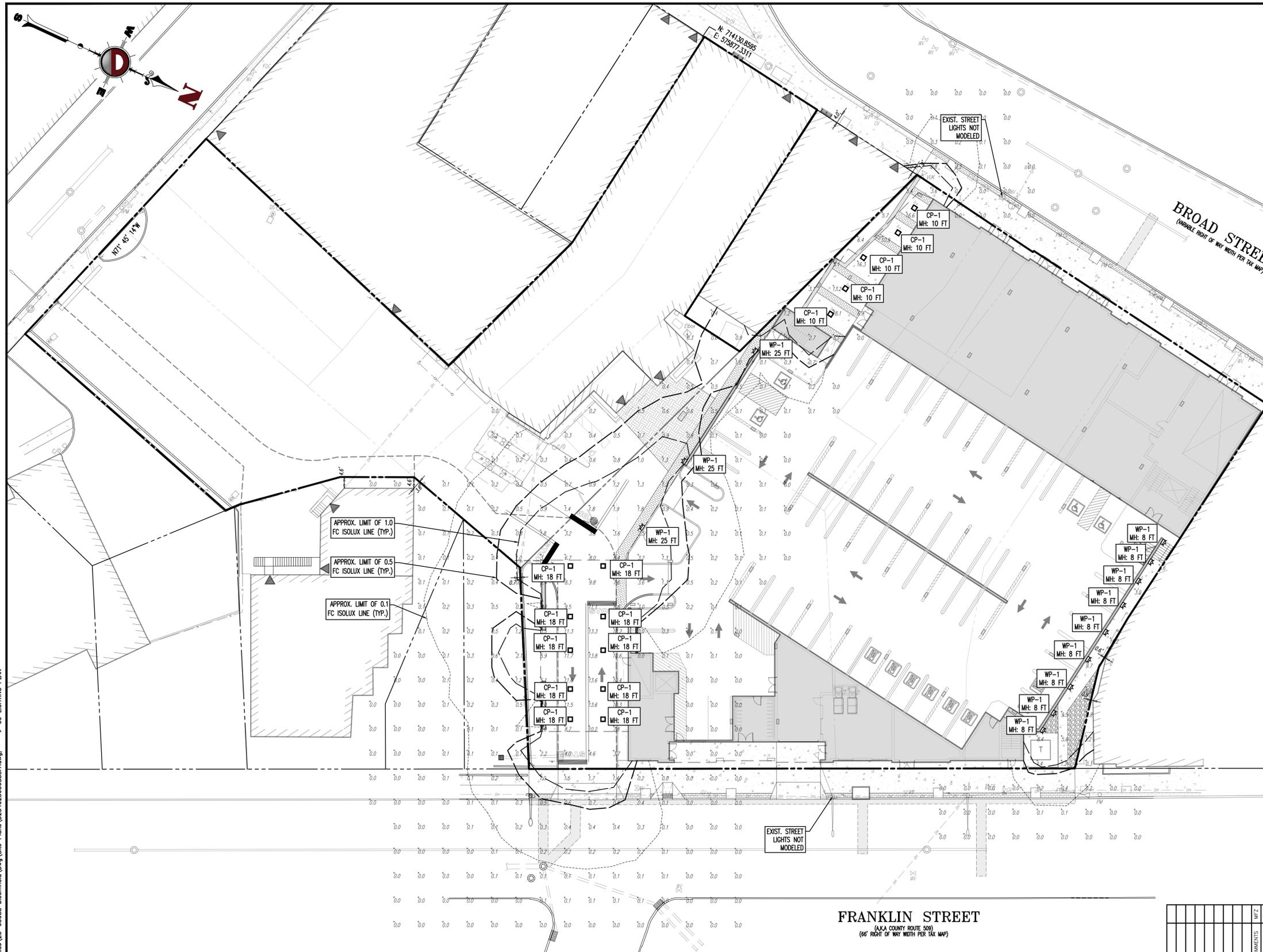
MARLA A. ROLLER
LICENSED LANDSCAPE ARCHITECT
NEW JERSEY LICENSE NO. 21AS00053700

DATE: 01/05/2024
JOB NO: 2340-23-03088
DRAWN BY: ARK
DESIGNED BY: NSR
CHECKED BY: JLG

SCALE: (H) 1"=20'
(V)
SHEET NO: 8
OF 15

PROTECT YOURSELF
ALL UTILITIES MUST BE LOCATED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
FOR STATE AND LOCAL DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

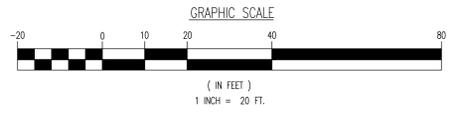
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- GENERAL NOTES**
1. THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
 2. ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
 3. CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUYDARD POSTS.
 4. ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
 5. REFER TO ARCHITECTURAL PLANS FOR SITE WIRING DIAGRAM.
 6. THIS PLAN IS PREPARED SPECIFICALLY TO ANALYZE THE LIGHTING LEVELS GENERATED BY THE PROPOSED ON-SITE LIGHTING ONLY. EXISTING LIGHT FIXTURES BEYOND THE EXTENTS OF THIS DEVELOPMENT/PROPERTY ARE NOT MODELED IN THIS DESIGN, AND MAY ALTER ACTUAL LIGHT LEVELS AT THE PROPERTY LINES.
 7. EXISTING LIGHTS ON BANK BUILDING NOT MODELED.
 8. EXISTING LIGHTS IN R.O.W. NOT MODELED.

BROAD STREET
(VARIABLE RIGHT OF WAY WIDTH PER TAX MAP)

FRANKLIN STREET
(AKA COUNTY ROUTE 509)
(66' RIGHT OF WAY WIDTH PER TAX MAP)



APPROX. LIMIT OF 1.0
FC ISOLUX LINE (TYP.)

APPROX. LIMIT OF 0.5
FC ISOLUX LINE (TYP.)

APPROX. LIMIT OF 0.1
FC ISOLUX LINE (TYP.)

LIGHTING LUMINAIRE SCHEDULE								
SYMBOL	QUANTITY	LABEL	WATTAGE	MOUNTING HEIGHT	ARRANGEMENT	LIGHT LOSS FACTOR	MANUFACTURER	IES FILE
	15	CP-1	34.54	10 - 18 FT	CANOPY	1.000	LITHONIA LIGHTING	CPX 2X2 AL07 (Low) SW07 (39K) A12 MVOLT.ies
	12	WP-1	12.7421	8 - 25 FT	WALL PACK	1.000	LITHONIA LIGHTING	WPX0 LED AL0-4 30K MVOLT.ies

ISO CURVES ARE MAINTAINED AND SHOWN AT 1.0, 0.5, AND 0.1 FC.
(FM) - FLUSH MOUNT FOUNDATION (PEF) - PEDESTAL FOUNDATION
THE CALCULATIONS SHOWN WERE MADE UTILIZING ACCEPTED PROCEDURES OF THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA. VARIATIONS IN LAMP OUTPUT, BALLAST OUTPUT, LINE VOLTAGE, DIRT DEPRECIATION, AND OTHER FACTORS MAY AFFECT ACTUAL RESULTS. UNLESS OTHERWISE STATED, ALL RESULTS ARE MAINTAINED VALUES, UTILIZING ACCEPTED LIGHT LOSS FACTORS (LLF).

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HIGHTSTOWN, PENNSYLVANIA T: 610.485.0276 | PHILADELPHIA, PENNSYLVANIA T: 215.253.4888 | BETHLEHEM, PENNSYLVANIA T: 610.598.4400 | ANNEBORO, MARYLAND T: 410.547.5000

TITLE: **LIGHTING PLAN**

PROJECT: **BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC
PROPOSED MIXED-USE DEVELOPMENT**

BLOCK 241 - LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46
11-13 BROAD STREET
TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY

JOB No: 2340-23-03088 DATE: 01/05/2024
DRAWN BY: ARK SCALE: (H) 1"=20'
(V)
DESIGNED BY: NSR SHEET No:
CHECKED BY: JLG
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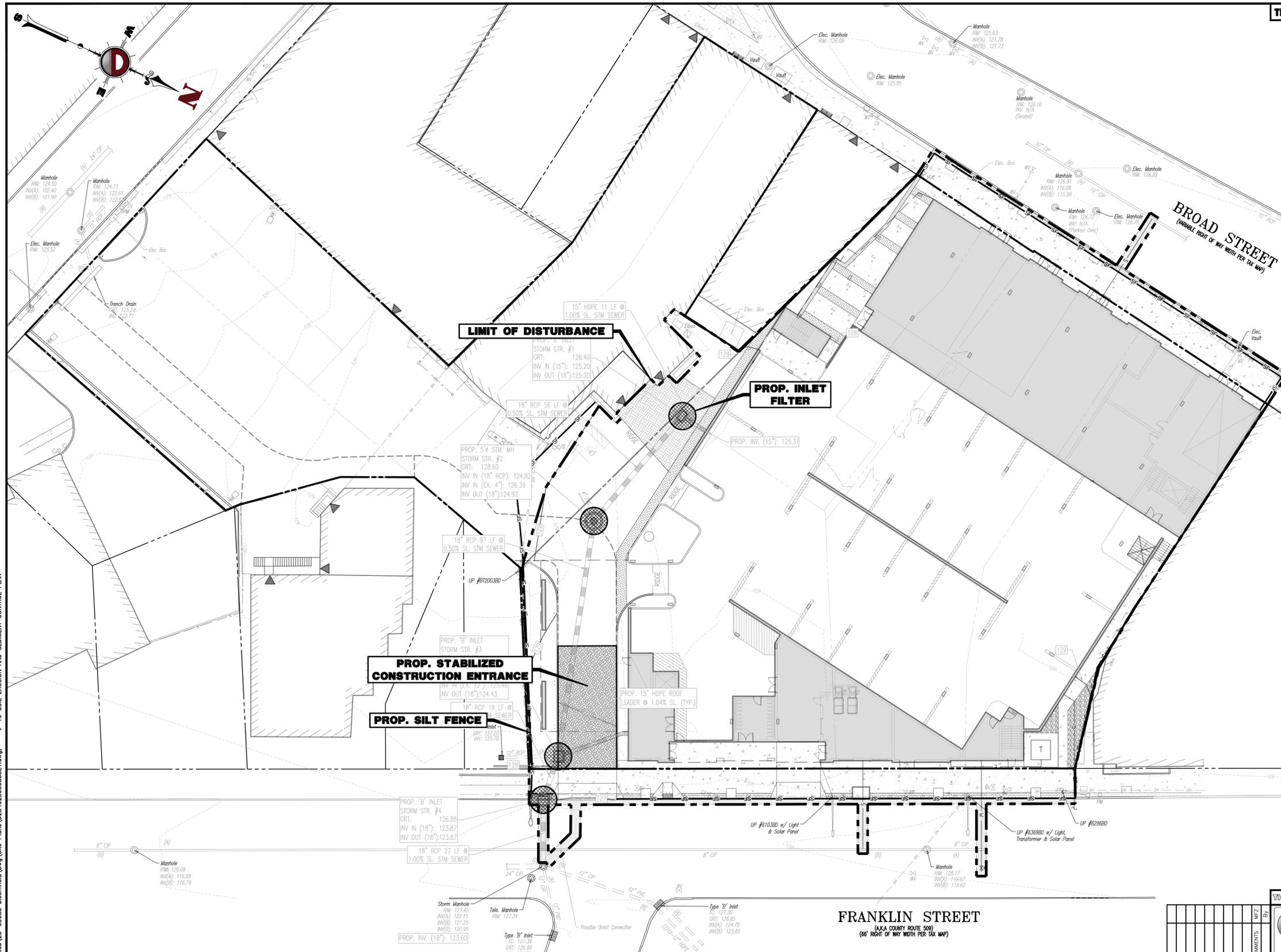
JACQUELYN GIORDANO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 53558

ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41938

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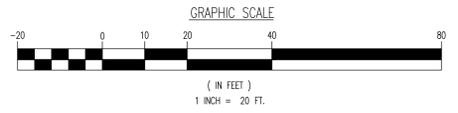


LIMIT OF DISTURBANCE = 55,517 SF. (1.27 Ac.)

EROSION CONTROL LEGEND

- PROP. LIMIT OF DISTURBANCE LINE
- PROP. SILT FENCE LINE
- PROP. TREE PROTECTION FENCE LINE
- PROP. INLET FILTER
- PROP. HAYBALE SEDIMENT BARRIER

NOTE: THE PROJECT IS EXEMPT FROM SOIL DE-COMPACTION REMEDIATION AND TESTING AS IT IS LOCATED IN AN URBAN REDEVELOPMENT AREA.



FRANKLIN STREET
(AKA COUNTY ROUTE 509)
(66' RIGHT OF WAY WIDTH PER TAX MAP)

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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TITLE: SOIL EROSION AND SEDIMENT CONTROL PLAN	
PROJECT: BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC PROPOSED MIXED-USE DEVELOPMENT	JOB No: 2340-23-03088
BLOCK 241, LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46 11-13 BROAD STREET TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY	DATE: 01/05/2024
DESIGNED BY: ARK	SCALE: (H) 1"=20' (V)
CHECKED BY: JLG	SHEET No:
CHECKED BY: -	10

<p>JACQUELYN GIORDANO PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 53558</p>	<p>ROBERT P. FREUD PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41938</p>
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SOIL EROSION & SEDIMENT

CONTROL NOTES

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL... 2. SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS... 3. SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER...

SEQUENCE OF CONSTRUCTION:

- PHASE 1: INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES INCLUDING INLET FILTERS AND SILT FENCING... PHASE 2: CLEAR AND ROUGH GRADE FOR NEW BUILDING SITE AND OTHER STRUCTURES REQUIRING EXCAVATION... PHASE 3: EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES...

STABILIZATION SPECIFICATIONS - TEMPORARY SEEDING AND MULCHING:

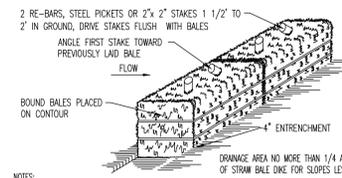
- PRIOR TO SEEDING, MIX TOP 6" LAYER OF TOPSOIL WITH FERTILIZER AND LIME... - FERTILIZER - 500 LBS/ACRE OR 11 LBS/1000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE... - SEEDS: COOL SEASON: PERENNIAL RYE GRASS 100LBS/ACRE OR OTHER APPROVED SEEDS...

STABILIZATION SPECIFICATIONS PERMANENT SEEDING:

- GENERAL SITE SEEDING MIX: HARD FESCUE - 75 LBS/ACRE 2.1 LBS/1000 SQ.FT. PERENNIAL RYEGRASS - 10 LBS/ACRE 0.25 LBS/1000 SQ.FT. KY. BLUEGRASS - 10 LBS/ACRE 0.25 LBS/1000 SQ.FT. WHITE CLOVER - 5 LBS/ACRE 0.1 LBS/100 SQ.FT. PERMANENT STABILIZATION SPECIFICATIONS: A. MULCHING MULCH MATERIALS TO BE UNROTTED SMALL GRASS STRAW...

MULCH STABILIZATION

- A. UNROTTED SMALL-GRAIN STRAW, OR SALT HAY AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL... B. ASPHALT EMULSION IS RECOMMENDED AT THE RATE OF 600 TO 1,200 GALLONS PER ACRE... C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAYBE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER...



- NOTES: 1. BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES... 2. EACH BALE SHALL BE PLACED SO THE ENDINGS ARE HORIZONTAL... 3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE...

HAYBALE SEDIMENT BARRIER DETAIL

NOT TO SCALE

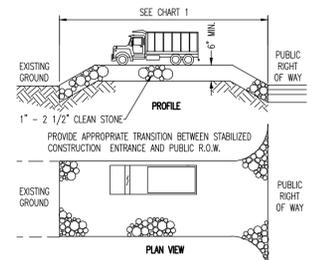
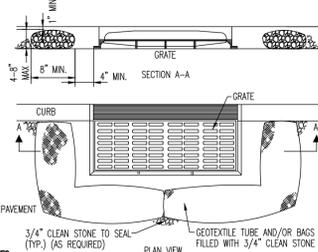


Table with 2 columns: PERCENT SLOPE OF ROADWAY and LENGTH OF STONE REQUIRED. Rows include coarse granulated soils and fine granulated soils for various slope percentages.

STABILIZED CONSTRUCTION ENTRANCE

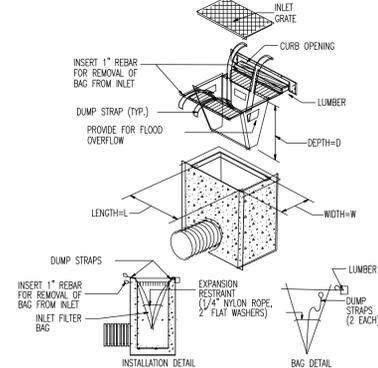
NOT TO SCALE



- NOTES: 1. GEOTEXTILE TO BE WOVEN POLYPROPYLENE PRODUCT 117F, BY SYNTHETIC INDUSTRIES INC. OR TERRATEX SC, BY WETBEC INC. OR APPROVED EQUAL... 2. 3/4" CLEAN STONE CORE SHALL BE COMPLETELY CONTAINED WITHIN GEOTEXTILE... 3. WHERE NO CURB IS PRESENT, BARRIER SHALL COMPLETELY ENVELOPE THE DRAIN INLET... 4. INLET GRATE OPENING IS TO BE KEPT CLEAR OF OBSTRUCTIONS AT ALL TIMES...

INLET FILTER, TYPE 1

NOT FOR USE WITHIN ADJUT RIGHT-OF-WAY

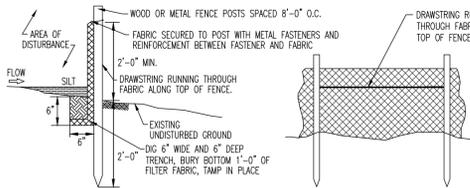


INLET FILTER, TYPE 2

ACCEPTABLE FOR USE WITHIN ADJUT RIGHT-OF-WAY

INLET FILTER COMBINED DETAIL

NOT TO SCALE



- 1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN... 2. THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 PERCENT... 3. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS THE FENCE AROUND THE SITES... 4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE...

SILT FENCE DETAIL

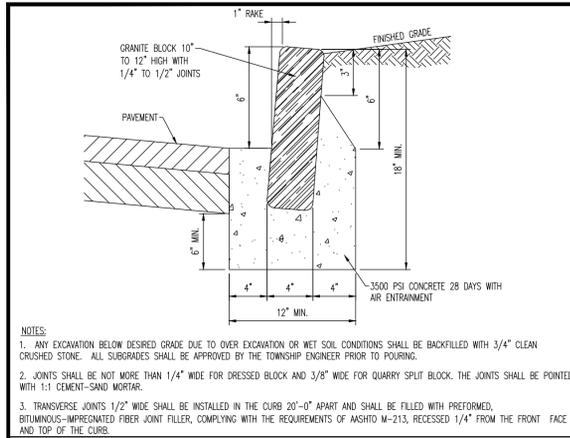
NOT TO SCALE

Product Ver: 24-3s (LMS Tech) File: P:\eapc projects\2340 metro real estate companies\23-03088 bloomfield\dwg\Site Plans\02/26/24\023402303088SD1.dwg, ---> 11 SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS

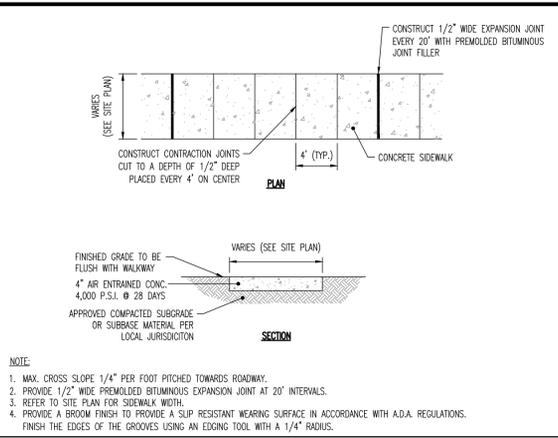
THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING logo and contact information including address, phone numbers, and website.

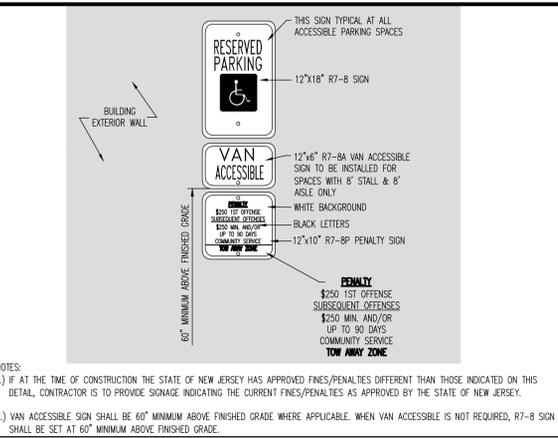
SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS table with columns for Title, Project, Job No, Date, Drawn By, Designated By, Checked By, and a revision table.



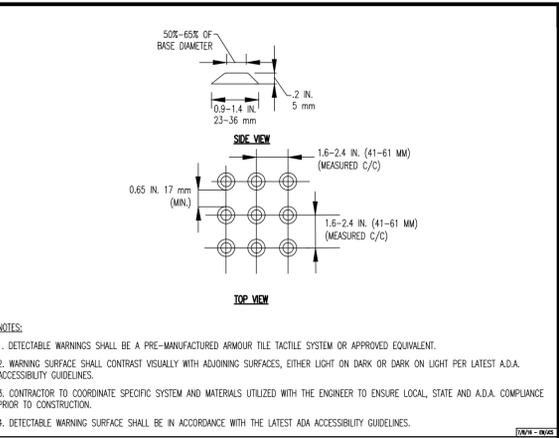
VERTICAL GRANITE BLOCK CURB (RSIS)
NOT TO SCALE



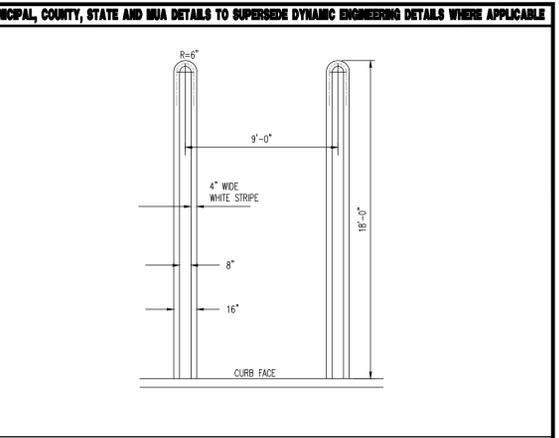
SIDEWALK DETAIL
NOT TO SCALE



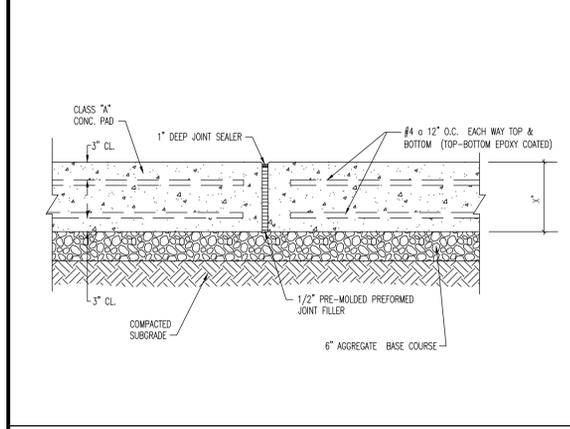
WALL MOUNTED ADA PARKING SIGN W/ VAN ACCESSIBLE SIGN
NOT TO SCALE



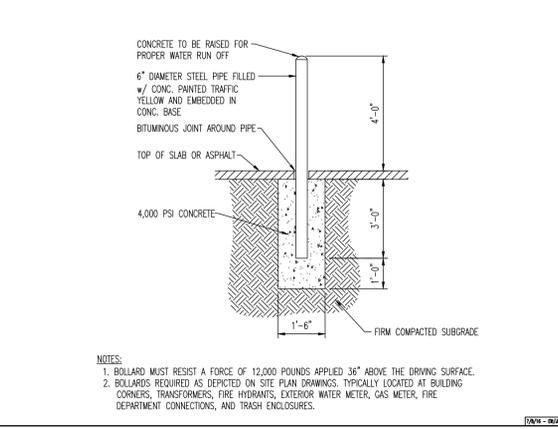
TRUNCATED DOME PATTERN FOR A.D.A. DETECTABLE WARNING SURFACE
NOT TO SCALE



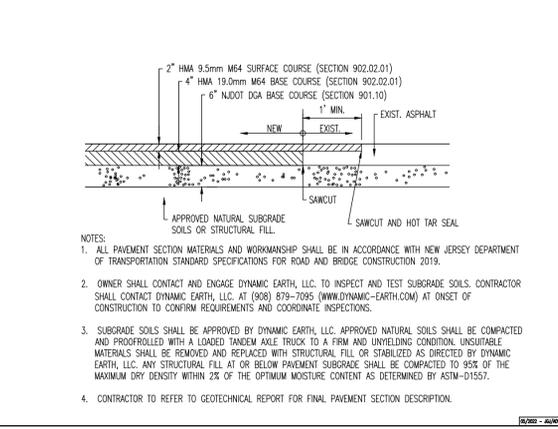
HAIRPIN PARKING STALL STRIPING DETAIL
NOT TO SCALE



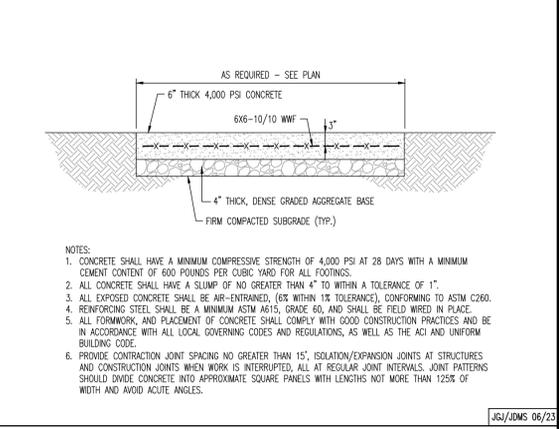
CONCRETE PAVEMENT & EXPANSION JOINT DETAIL
NOT TO SCALE



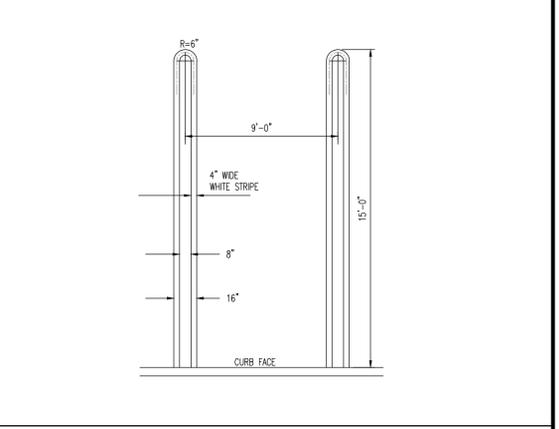
6" BOLLARD DETAIL
NOT TO SCALE



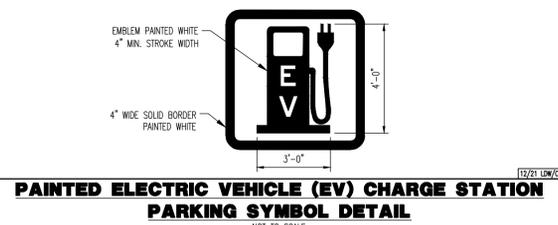
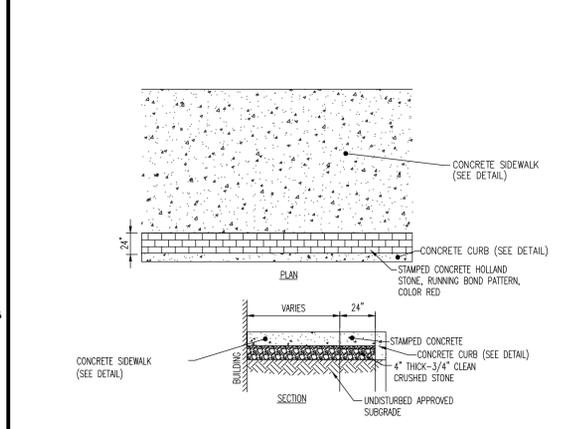
STANDARD DUTY ASPHALT PAVEMENT DETAIL
NOT TO SCALE



CONCRETE TRANSFORMER PAD DETAIL
NOT TO SCALE



HAIRPIN COMPACT PARKING STALL STRIPING DETAIL
NOT TO SCALE



PAINTED ELECTRIC VEHICLE (EV) CHARGE STATION PARKING SYMBOL DETAIL
NOT TO SCALE

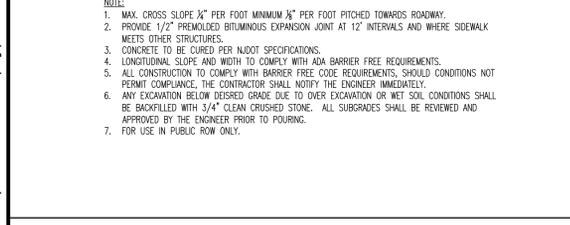


PAINTED A.D.A. PARKING SYMBOL DETAIL
NOT TO SCALE

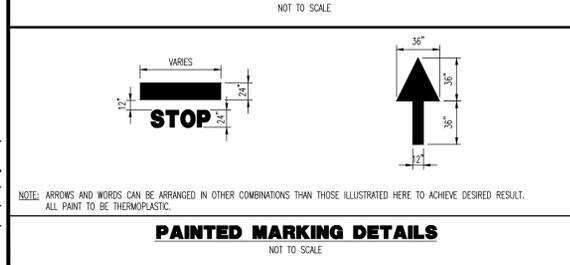
SIGN	REQUIREMENTS	EXISTING	PROPOSED
WALL MOUNTED	NUMBER OF FACADE SIGNS: ONE (1) SIGN PER TENANT [2] [3] [4] MAXIMUM FACADE SIGN AREA: 48 SF EACH [3] [4] [5] MAXIMUM PROJECTION: 6 IN	NUMBER OF SIGNS: 7 SIGN AREA BROAD STREET "TOM'S COMMUNITY CLOSET" "99c DREAMS" "PROFESSIONAL PHYSICAL THERAPY" TOTAL SIGN AREA FRANKLIN STREET "PROFESSIONAL PHYSICAL THERAPY" 99c DREAMS VACANT SIGN "RENT-A-CENTER" TOTAL SIGN PROJECTION SIGN AREA	7 18.5 SF EACH 19.2 SF 73.2 SF 5 SF
PROJECTING SIGN	NUMBER OF SIGNS: 1 MAXIMUM SIGN AREA: 5 SF MINIMUM CLEARANCE: 7 FT WIDTH: 3 FT MAXIMUM LETTER HEIGHT: 8 IN	0 SIGN AREA CLEARANCE WIDTH LETTER HEIGHT:	30 SF (M) 40 FT 2 FT 1.33 FT (M)
DIRECTORY/DIRECTIONAL SIGNS	NUMBER OF SIGNS: 1 MAXIMUM SIGN AREA: 6 SF	0 SIGN AREA ADDRESS SIGN (2 TOTAL) TENANT SIGN (2 TOTAL) TOTAL	11 SF EACH (M) 19.25 SF EACH (M) 60.5 SF

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-CONFORMANCE (V): VARIANCE

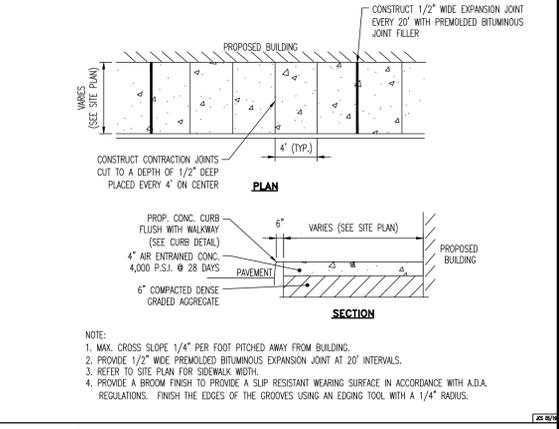
- NOTES:
- ALL SIGNAGE WITHIN THE "BORD-8" SHALL COMPLY WITH THE BLOOMFIELD ZONING ORDINANCE 315-42 SIGNS "A. GENERAL PROVISIONS" AND "B. SIGNS PERMITTED IN BUSINESS ZONES". (BCRP-11 SB.6)
 - IN MULTI-TENANTED DEVELOPMENTS WHERE DIFFERENT ESTABLISHMENTS ON THE SAME SITE HAVE SEPARATE EXTERIOR ENTRANCES FOR THE PUBLIC, SUCH AS MIXED-USE BUILDINGS, COMMERCIAL SHOPPING CENTERS AND OTHER BUILDINGS WITH MULTIPLE STOREFRONTS, EACH SUCH ESTABLISHMENT SHALL BE PERMITTED TO ERECT A WALL SIGN CONFORMING TO SUBSECTION § 315-42B, PROVIDED ALL SUCH WALL SIGNS ARE SIMILARLY ILLUMINATED AND INSTALLED WITHIN AN ARCHITECTURAL SIGN BAND OR AT THE SAME HEIGHT. (§ 315-42.B)(1)(E)(1))
 - A SECOND WALL-MOUNTED SIGN, NOT EXCEEDING SIX SQUARE FEET IN AREA, SHALL BE PERMITTED ON ANY SIDE OR REAR ENTRANCE OF A COMMERCIAL USE OPEN TO THE PUBLIC, PROVIDED SUCH SIGN DOES NOT FACE THE SAME STREET FRONTAGE AS THE PRIMARY WALL SIGN. (§ 315-42.B)(1)(E)(2))
 - A WALL-MOUNTED BUILDING DIRECTORY SIGN IDENTIFYING THE OCCUPANTS OF A COMMERCIAL BUILDING, INCLUDING UPPER-STORY COMMERCIAL USES, SHALL BE PERMITTED, PROVIDED THAT THE SIGN IS LOCATED NEXT TO THE ENTRANCE, THE SIGN PROJECTS FROM THE WALL TO WHICH IT IS ATTACHED NO MORE THAN SIX INCHES, THE HEIGHT OF THE SIGN IS APPROXIMATELY SIX FEET, AND THE AREA OF THE SIGNBOARD SHALL NOT EXCEED THREE SQUARE FEET WITH EACH TENANT LIMITED TO ONE SQUARE FOOT. (§ 315-42.B)(1)(E)(3))
 - THE AREA OF THE SIGN SHALL NOT EXCEED 10% OF THE GROUND FLOOR BUILDING FACADE AREA DEVOTED TO THE PROMOTED USE, OR 48 SQUARE FEET, WHICHEVER IS LESS. FACADE AREA = 165 FT X 26FT = 4,290 SF X 10% = 429 SF. (§ 315-42.B)(1)(B))
 - THE TOP OF THE SIGN SHALL NOT EXTEND ABOVE THE HEIGHT OF THE GROUND FLOOR OF THE BUILDING, IF A BUILDING IS DESIGNED WITH A SIGN BAND, ALL WALL SIGNS SHALL FIT WITHIN THE SIGN BAND. IF THERE IS NO SIGN BAND, ALL WALL SIGNS ON THE SAME SITE SHALL BE INSTALLED AT THE SAME HEIGHT. (§ 315-42.B)(1)(C))
 - WINDOW SIGNS SHALL NOT COMPREHENSIVELY EXCEED 20% OF THE GROUND FLOOR WINDOW AREA OF THE ESTABLISHMENT AND SHALL NOT REACH A HEIGHT GREATER THAN HALF THE HEIGHT OF THE WINDOW OR FIVE FEET ABOVE THE GRADE OUTSIDE THE WINDOW TO WHICH THEY ARE ATTACHED, WHICHEVER IS LOWER. (§ 315-42.B)(3)(A))
 - WINDOW SIGNS SHALL BE COUNTED TOWARD THE TWO PERMISSIBLE SIGNS PER ESTABLISHMENT PERMITTED BY § 315-42B, BUT DOOR SIGNS SHALL NOT. (§ 315-42.B)(3)(D))
 - ANY SIGN PERMITTED, EXCEPT FOR AWNING AND CANOPY SIGNS, MAY BE ILLUMINATED. SIGNS MAY BE INTERNALLY OR EXTERNALLY ILLUMINATED. (§315-42.A)(9))
 - THE HEIGHT OF THE TOP EDGE OF THE SIGNBOARD DOES NOT EXCEED THE CEILING HEIGHT OF THE SECOND STORY, IF ATTACHED TO A MULTISTORY BUILDING. (§ 315-42B)(H)) (M)
 - FIXED CANOPIES ATTACHED TO BUILDINGS SHALL NOT EXTEND THE BUILDING MORE THAN 38 INCHES, NOR SHALL BE GREATER THAN 48 INCHES IN HEIGHT. (§315-42.B)(4C)) (M)



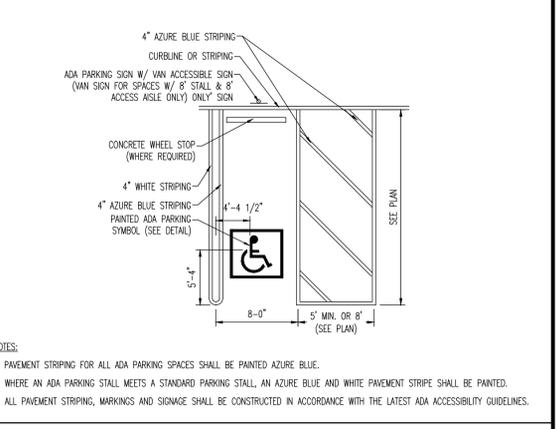
STAMPED CONCRETE WALK DETAIL
NOT TO SCALE



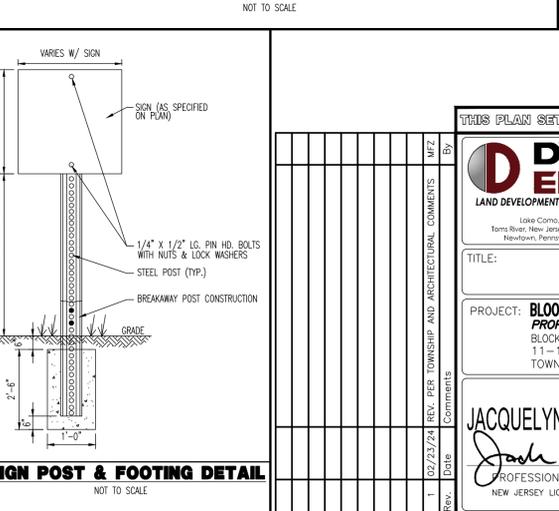
PAINTED MARKING DETAILS
NOT TO SCALE



CURB AND WALK DETAIL AT BUILDING
NOT TO SCALE



ADA STALL MARKINGS
NOT TO SCALE



SIGN POST & FOOTING DETAIL
NOT TO SCALE

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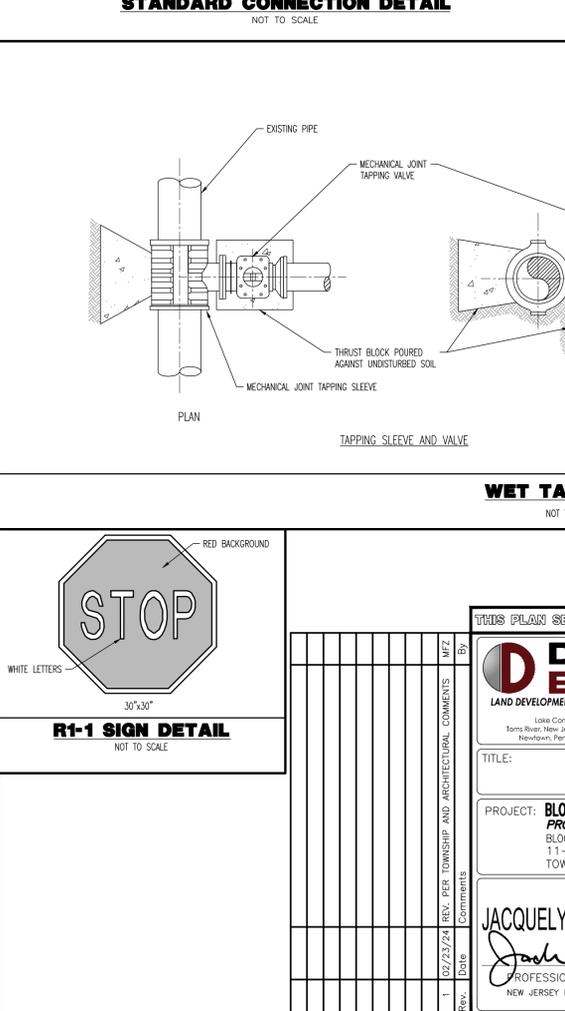
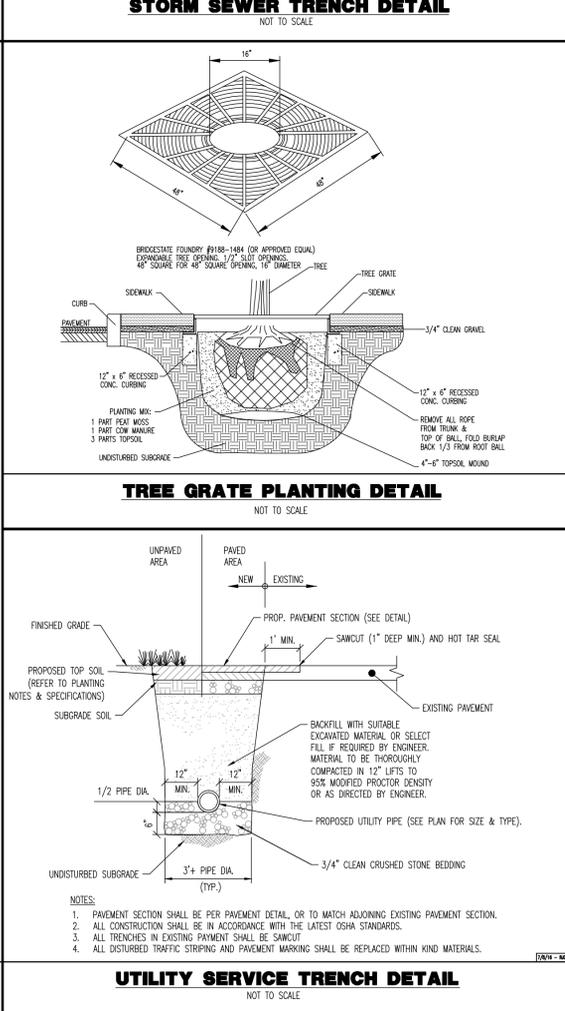
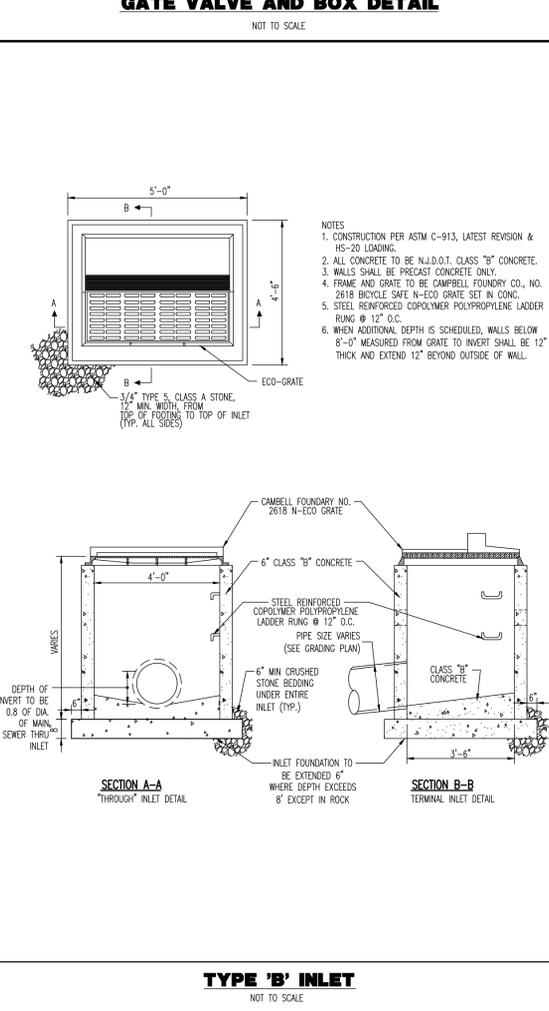
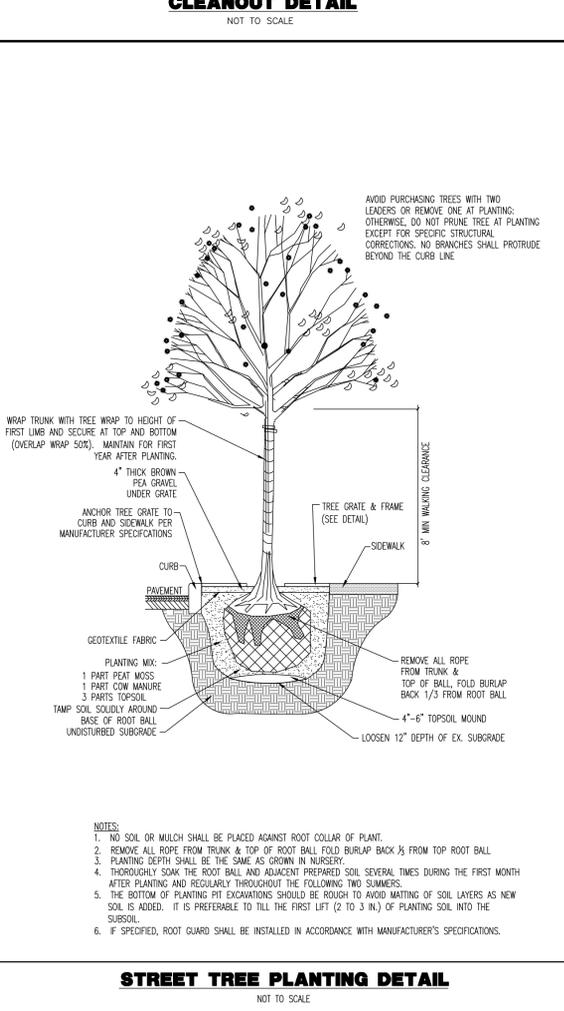
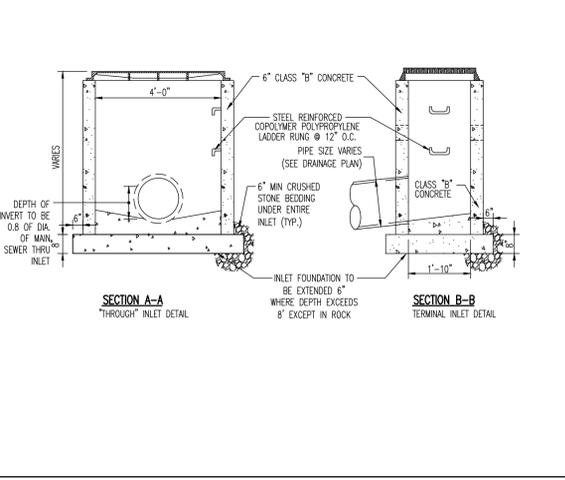
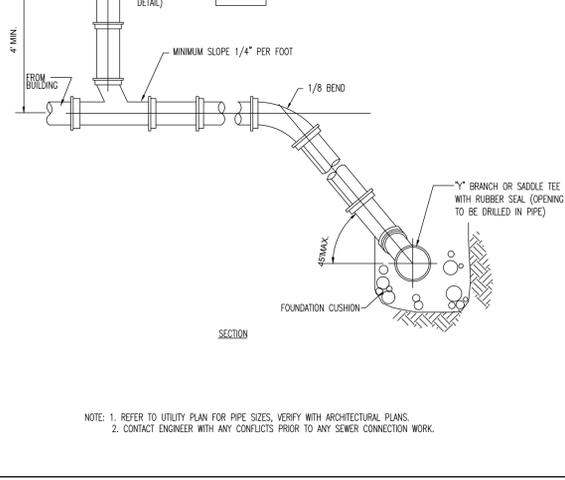
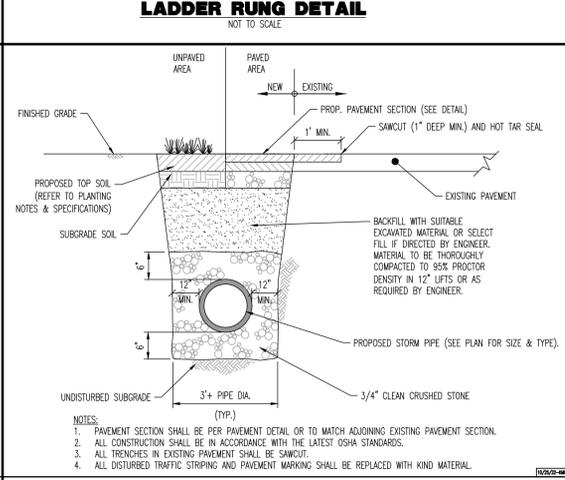
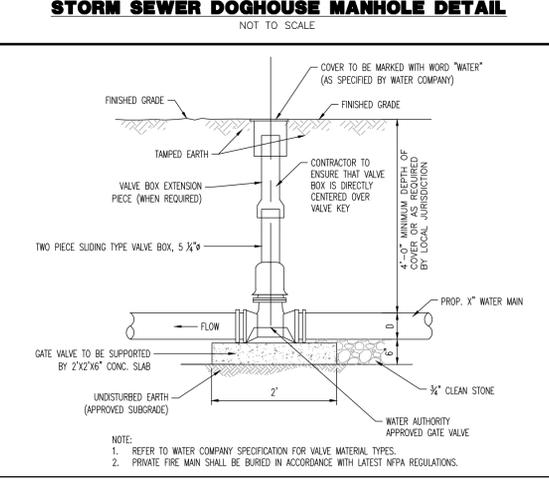
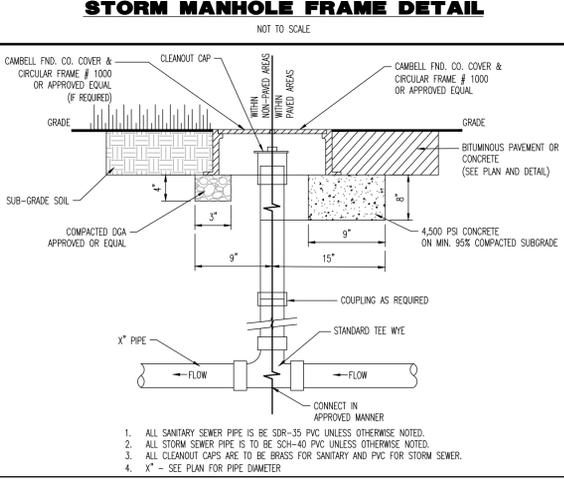
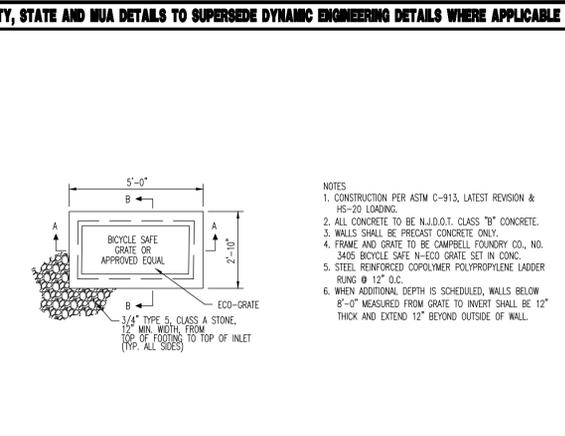
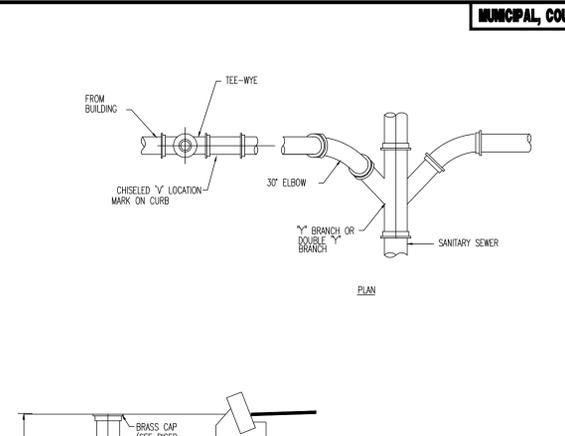
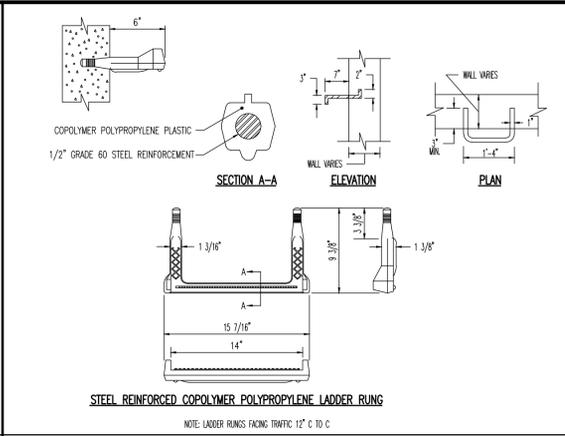
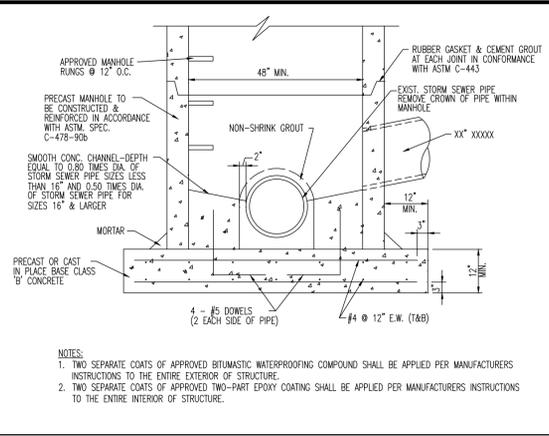
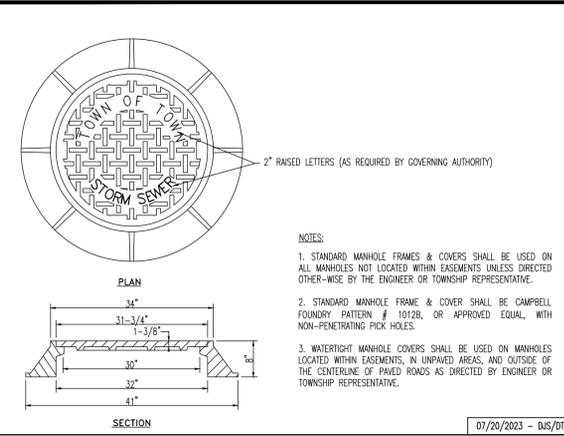
Job No: 2340-23-03088
DATE: 01/05/2024
DRAWN BY: ARK
DESIGNED BY: NSR
CHECKED BY: JLG
SHEET No: 12 OF 15

PROJECT: BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC
PROPOSED MIXED-USE DEVELOPMENT
BLOCK 241 - LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46
11-13 BROAD STREET
TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY

JACQUELYN GIORDANO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 53558

ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41938

Rev. 1 02/23/24 REV. PER TOWNSHIP AND ARCHITECTURAL COMMENTS



WET TAP DETAIL
NOT TO SCALE

PLAN
ELEVATION

TAPPING SLEEVE AND VALVE
VALVE SUPPORT BLOCK & INSERTION VALVE

TAPPING NOTES:
1. INSTALLATION OF TAPPING SLEEVE AND VALVE AND INSERTION VALVE SHALL BE CONDUCTED UNDER "WET" CONDITIONS. EXISTING MAINS SHALL BE LEFT IN SERVICE AT ALL TIMES DURING TAPPING OR INSERTION.
2. CONCRETE THRUST BLOCK UNDER VALVES SHALL HAVE A SOIL BEARING EQUAL TO THAT OF A 45° ELBOW.

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PROJECT: BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC
PROPOSED MIXED-USE DEVELOPMENT
BLOCK 241 - LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46
11-13 BROAD STREET
TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY

JOB No: 2340-23-03088
DATE: 01/05/2024
DRAWN BY: ARK
SCALE: (H) NOT TO (V) SCALE
DESIGNED BY: NSR
CHECKED BY: JLG
SHEET No: 13 OF 15

JACQUELYN GIORDANO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 53558

ROBERT P. FREUD
PROFESSIONAL ENGINEER
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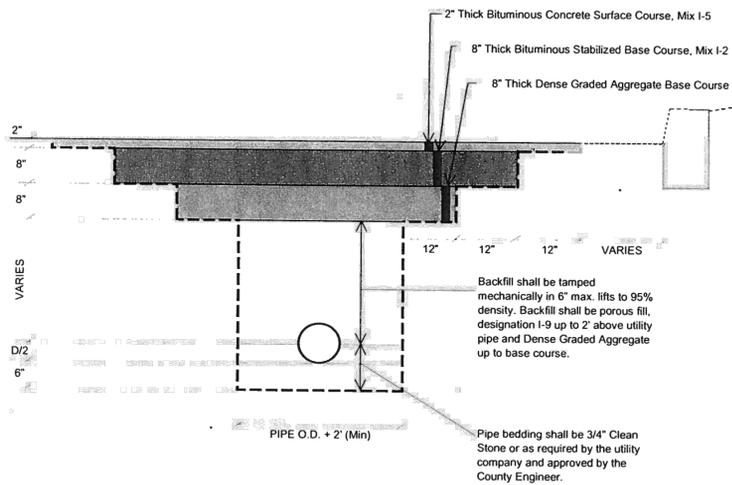
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ALL UTILITIES REQUIRE REVISION OF
CONCRETE RECORDS. IF ANY UTILITY
PREPARED TO VERIFY THE SERVICE
OFFICE NUMBER IS 811.981.1234

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Rev. # 1

Plotted: 02/26/24 10:51 AM, By: mzimmerman, Product Ver: 24.3s (LMS Tech) File: P:\pcep projects\2340 metro real estate companies\23-03088 bloomfield\dwg\Site Plans\2340\234003088SD1.dwg, 13 CONSTRUCTION DETAILS

UTILITY TRENCH RESTORATION DETAIL
WITHIN ESSEX COUNTY ROADS RIGHT-OF-WAY



Backfill shall be tamped mechanically in 6" max. lifts to 95% density. Backfill shall be porous fill, designation I-9 up to 2' above utility pipe and Dense Graded Aggregate up to base course.

Pipe bedding shall be 3/4" Clean Stone or as required by the utility company and approved by the County Engineer.

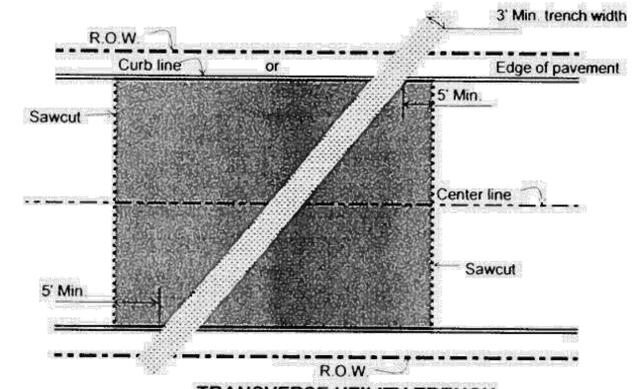
- NOTES:
1. New Jersey D.O.T. Standard Specifications for Roads and Bridge Construction with amendments shall govern.
 2. When the edge of trench is within 4' or less from the existing curb, full depth pavement shall be constructed.
 3. All excavated unsuitable material shall be removed and disposed of at the utility and/or contractor's expense.
 4. Temporary pavement replacement shall be 10 inches of Bituminous Stabilized Base Course, Mix 1-2, compacted in five inches lifts.
 5. After four months or as directed by the County Engineer or his duly authorized representative, the trench shall be milled 2 inches deep extending 12 inches wider, each side, than the trench and resurfaced with 2" of Bituminous Concrete Surface Course, Mix 1-5.
 6. Trenches shall be sawcut as indicated in this drawing. Butt joints are not allowed.
 7. Traffic stripes and traffic markings are to be replaced with Traffic Stripes, long life and Traffic Markings, thermoplastic.

UTILITY TRENCH RESTORATION

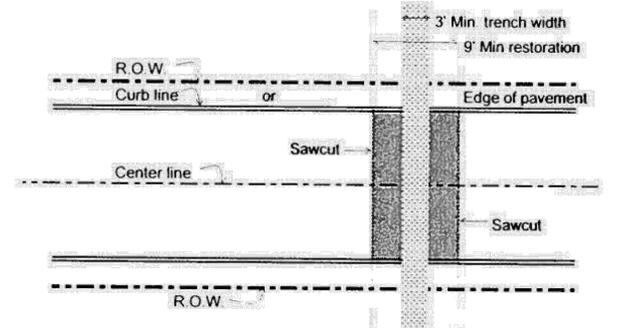
Drawn by: LER Date: 10/11/2006
Scale: NTS Drawing No. 1 of 4
ESSEX COUNTY DEPARTMENT OF PUBLIC WORKS
DIVISION OF ENGINEERING

ON FILE
Sullivan Vanhook P.E., P.P.E.

MILLING AND RESURFACING LIMITS
FOR ROADS PAVED LESS THAN FIVE YEARS AGO



TRANSVERSE UTILITY TRENCH
PLAN VIEW
DETAIL A

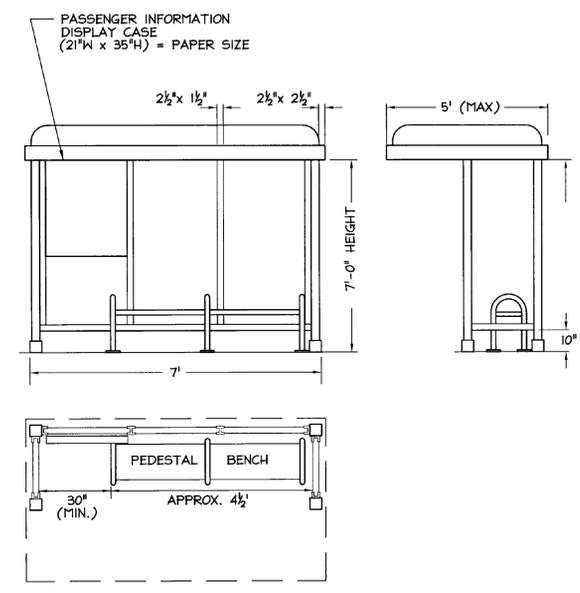


PERPENDICULAR UTILITY TRENCH
PLAN VIEW
DETAIL B

EXHIBIT 1

NJTRANSIT

BUS SHELTER TYPE 'A' 5'x7' CANTILEVER



THE GLASS PANEL SIZE WILL BE 25 3/8" WIDE BY 70 7/8" HIGH BY 1/4" THICK.

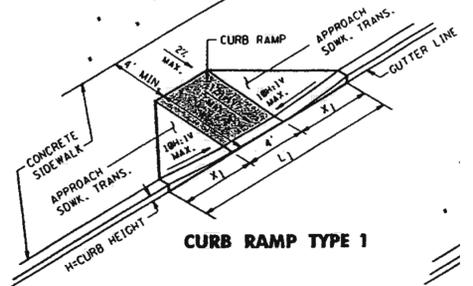
NOT TO SCALE
NOTE: DIMENSIONS ARE NOMINAL UNLESS SPECIFIED

exhibit 1 - 5x7 cantilever.dwg

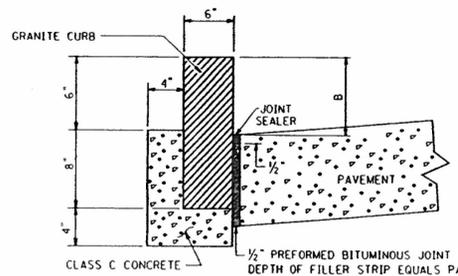
NJTRANSIT BUS SHELTER DETAIL

NOT TO SCALE

CURB RAMP TYPE 1			
H INCHES	X1 FEET	L1 FEET	W FEET
3	2.5	9.0	3
4	3.3	10.6	4
5	4.2	12.4	5
6	5.0	14.0	6
7	5.8	15.6	7
8	6.7	17.4	8
9	7.5	19.0	9



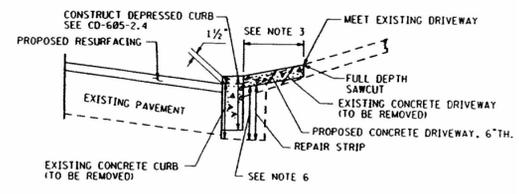
CURB RAMP TYPE 1



1/2" PREFORMED BITUMINOUS JOINT FILLER DEPTH OF FILLER STRIP EQUALS PAVEMENT THICKNESS LESS 1/2". TO BE INSTALLED BETWEEN CURB AND CONCRETE PAVEMENT OR CONCRETE BASE COURSE.

NOTE: FOUNDATION TO BE INSTALLED THE ENTIRE LENGTH OF THE GRANITE CURB.

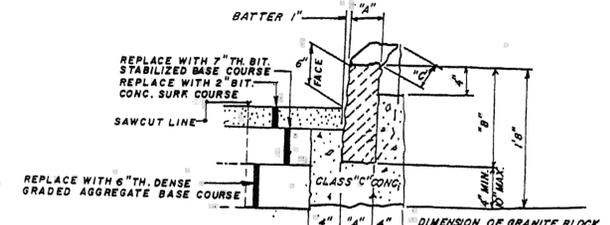
NEW OR RESET GRANITE CURB



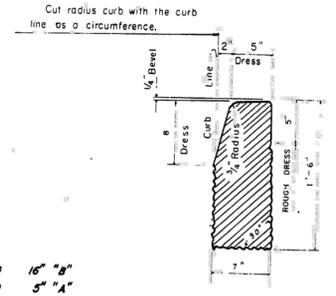
TYPE (E)
RECONSTRUCTION OF CONCRETE DRIVEWAY
(WITH DEPRESSED CURB)

GENERAL NOTES

1. ALL MATERIAL, REPAIR STRIPS, AND EXCAVATION FOR DRIVEWAY CONSTRUCTION TO BE INCLUDED IN THE BID OR CONCRETE CURB.
2. HMA DRIVEWAY SURFACE COURSE, TOP LAYER AND BOTTOM LAYER SHALL BE MIX 1-5.
3. LENGTH OF DRIVEWAY WORK SHALL BE 5 FEET UNLESS OTHERWISE SHOWN ON PLANS OR AS DIRECTED.
4. MAINTAIN EXISTING DIRECTION OF FLOW ON DRIVEWAY.
5. DENSE GRADED AGGREGATE BASE COURSE SHALL BE USED TO PROVIDE TEMPORARY ACCESS DURING DRIVEWAY CONSTRUCTION.
6. GRANULAR MATERIAL FROM THE PROJECT OR SOIL AGGREGATE AS DIRECTED.
7. NO BASE COURSE IS REQUIRED FOR DRIVEWAY.



DETAIL OF GRANITE BLOCK CURB & PAVEMENT RESTORATION
N.T.S.



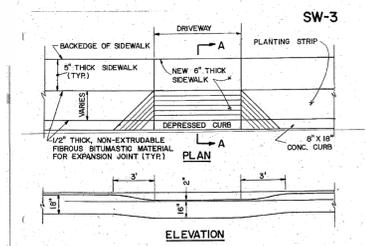
GRANITE CURB DETAIL

Maximums for Undressed Portion

Depressions	Projections
Front 1 1/2"	1/2"
Back 1 1/2"	1 1/4"
Ends 1 1/2"	1/4"

Maximums for Dressed Portion

Depressions	Projections
Top 1/4"	1/4"
Front 1/4"	1/4"
Back 1/2"	1/4"
Ends 1/2"	1/4"



DEPRESSED DRIVEWAY
REV. 9-15-92

ESSEX COUNTY STANDARD DETAILS

NOT TO SCALE

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1994 Main Street
Lake Como, NJ 07719
T: 732.974.0198
F: 732.974.3521
www.dynamiceng.com

CONSTRUCTION DETAILS

PROJECT: BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC
PROPOSED MIXED-USE DEVELOPMENT
BLOCK 241, LOTS 5, 6, 7, 21, 23, 37, 39, 41, 42, 44, 45, & 46
11-13 BROAD STREET
TOWNSHIP OF BLOOMFIELD, ESSEX COUNTY, NEW JERSEY

JOB No: 2340-23-03088
DATE: 01/05/2024
DRAWN BY: ARK
SCALE: (H) NOT TO (V) SCALE
DESIGNED BY: NSR
SHEET No:
CHECKED BY: JLG
DATE: 01/05/2024

JACQUELYN GIORDANO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 53558

ROBERT P. FREUD
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41938

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14
OF 15
Rev. # 1

Product Ver: 24.3s (LMS Tech)
mzimmernan
23-03088
bloomfield.dwg
14 CONSTRUCTION DETAILS



Catalog Number
Notes
Type

Contractor Select™
CPX™
LED Panel

CPX™ from Lithonia Lighting is the perfect choice for a quality LED panel at an affordable price. The smooth, even lens projects a crisp and clear aesthetic. CPX is the perfect choice for budget-conscious school, commercial office, or small retail footprint projects.

- FEATURES:**
- Industry standard wattages
 - Long life LEDs maintain greater than 70% of their lumen output at 50,000 hours
 - 0-10V dimming driver, dims to 10%

WEIGHT:
2x2 Unit: 6.39lbs
Master Carton: 30.42lbs
2x4 Unit: 11.02lbs
Unit Carton: 13.89lbs
Master Carton: 27.78lbs

Catalog Number	UPC	Description	Lumens	Input Watts	CCT	CRI	Voltage	Pallet Qty.
CPX 2X2 2X20LM 40K M4	19184833850	2x2 LED Panel	3659	31.5	4000K	80	120-277V	20
CPX 2x4 400LM 40K M2	19184833856	2x4 LED Panel	4692	38.9	4000K	80	120-277V	40
CPX 1X4 ALO7 SWW7 M4	19499456803	1X4 Switchable Panel	See Switchable Table	See Switchable Table	3500K/4000K/5000K	>80	120-277V	40
CPX 2X2 ALO7 SWW7 M4	19304854206	2X2 Switchable Panel	See Switchable Table	See Switchable Table	3500K/4000K/5000K	>80	120-277V	40
CPX 2X4 ALO8 SWW7 M2	19304854244	2X4 Switchable Panel	See Switchable Table	See Switchable Table	3500K/4000K/5000K	>80	120-277V	20
CPX 2X2 ALO7 SWW7 IVOV1 M4	194994571854	2x2 Switchable Panel	See Switchable Table	See Switchable Table	3500K/4000K/5000K	>80	120-347V	40
CPX 2X4 ALO8 SWW7 IVOV1 M2	194994571861	2x4 Switchable Panel	See Switchable Table	See Switchable Table	3500K/4000K/5000K	>80	120-347V	20



NOTES
1. EDP P19196 Q3 A minor revision only. See LED CPX™ LED S2 spec sheet and ILL-PANR-P348Q2-P349M-P349V6 remote mounting outdoor ops sheet.



Accessories: Order as separate catalog number.

ALBP CP10 HE SD A	ROTA 10 Watt Constant Power, High Efficiency LED Emergency Driver for CA Title 20 ¹
DG414	Drywall grid adapter for 1X4 recessed fixture.
DG422	Drywall grid adapter for 2x2 recessed fixture.
DG424	Drywall grid adapter for 2x4 recessed fixture.
1X4GMSH	Multi-Use Surface Mount Kit: 1X4, Shallow Depth
2X2GMSH	Multi-Use Surface Mount Kit: 2x2, Shallow Depth
2X4GMSH	Multi-Use Surface Mount Kit: 2x4, Shallow Depth
1X4GMSHP PAF	Multi-Use Surface Mount Kit: 1X4 Post-Paint
2X2GMSHP PAF	Multi-Use Surface Mount Kit: 2X2 Post-Paint
2X4GMSHP PAF	Multi-Use Surface Mount Kit: 2X4 Post-Paint
PAF 20NF 36	Panel Air Craft Kit, 2 cables with Y splitter, No Power Feed, 36 inches. Recommended for 1X4 or 2X2 Panel Fixtures only.
PAF 20F 36	Panel Air Craft Kit, 2 cables with Y splitter, with Power Feed, 36 inches. Recommended for 1X4 or 2X2 Panel Fixtures only. ¹
PAF 40NF 36	Panel Air Craft Kit, 4 cables, No Power Feed, 36 inches. Recommended for 2X4, 1X4 or 2X2 Panel Fixtures.
PAF 40F 36	Panel Air Craft Kit, 4 cables, with Power Feed, 36 inches. Recommended for 2X4, 1X4 or 2X2 Panel Fixtures. ¹
PAF 20NF 72	Panel Air Craft Kit, 2 cables with Y splitter, No Power Feed 72 inches. Recommended for 1X4 or 2X2 Panel Fixtures only.
PAF 20F 72	Panel Air Craft Kit, 2 cables with Y splitter, with Power Feed, 72 inches. Recommended for 1X4 or 2X2 Panel Fixtures only. ¹
PAF 40NF 72	Panel Air Craft Kit, 4 cables, No Power Feed, 72 inches. Recommended for 2X4, 1X4 or 2X2 Panel Fixtures.
PAF 40F 72	Panel Air Craft Kit, 4 cables, with Power Feed, 72 inches. Recommended for 2X4, 1X4 or 2X2 Panel Fixtures. ¹
RO8BDP 2P U	Disconnect Plug (BDP), 2 Pole, Package of 1
RO8BDP 3P U	Disconnect Plug (BDP), 3 Pole, Package of 1
RO8BDP 2P J10	Disconnect Plug (BDP), 2 Pole, Package of 10
RO8BDP 2P J40	Disconnect Plug (BDP), 2 Pole, Package of 40

NOTES
1. For MW01 only, not available with 34CV.

Size (ft)	Mounting	Lumen Package	CCT	Lumens	Wattage	Efficacy
1x4	CPX 1X4 ALO7 SWW7 M4	Low Lumen	3500K	2409	19.7	131.4
			4000K	2594	19.7	131.7
		Med Lumen	5000K	2483	19.5	127.3
			3500K	2389	24.4	125.8
			4000K	3543	27.2	131.7
			5000K	3349	28.2	119.5
2x2	CPX 2X2 ALO7 SWW7 M4	Low Lumen	3500K	3194	35.7	109.6
			4000K	3279	36.5	128.9
		Med Lumen	5000K	2456	36.1	128.6
			3500K	3356	28.7	119.9
			4000K	3449	27.5	132.7
			5000K	3427	28.5	129.2
2x4	CPX 2X4 ALO8 SWW7 M2	Low Lumen	3500K	4111	37.5	119.2
			4000K	4564	35.8	127.5
		Med Lumen	5000K	4212	32.3	119.9
			3500K	3813	29.94	131.8
			4000K	4833	28.1	143.5
			5000K	3938	28.86	135.5
High Lumen	3500K	4457	36.8	121.1		
	4000K	5009	35.55	140.9		
	5000K	4834	36.45	131.9		
	3500K	4946	26.26	119.6		
	4000K	4563	48.53	135.2		
	5000K	6241	59.24	124.2		



Specifications

INTENDED USE:
CPX is a low-gloss panel featuring an external driver. This cost-effective, reliable panel is visually comfortable and can be recessed mounted. Suitable for many applications such as schools, offices, retail, convenience stores and other commercial spaces. **Certain airborne contaminants can diminish integrity of acrylic. Click here for Acrylic Environmental Compatibility table for suitable spaces.** Adjustable Lumen (ALO7, ALO8) and Switchable White (SWW7) configurations available. **U.S. Patent No. 10,681,784.**

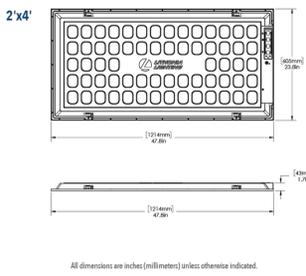
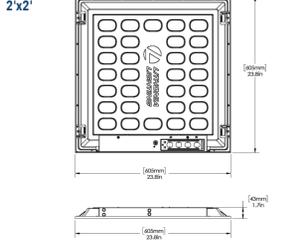
CONSTRUCTION:
The extruded aluminum frame with satin white lens provides excellent shielding and uniform luminance. The low-profile design of CPX provides increased installation flexibility especially in restricted plenum spaces. The backplate includes integral T-bar clips for installation into T-grid ceilings.

ELECTRICAL:
Long life LEDs, coupled with a high-efficiency driver, provide superior illumination for extended service life. Greater than 70% lumen maintenance at 50,000 hours (L70=50,000). 0-10V dimming driver, dims to 10% and contains non-isolated dimming leads.

LISTINGS:
CSA certified to meet US and Canadian standards. Damp location listed. IC rated. IP5X Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DQL to confirm which versions are qualified. Rated for NSF/ANSI Standard 2 - Light Fixture for Splash Zone and Non Food Zone. NOM Certified.

WARRANTY:
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.acuitybrands.com/support/warranty/terms-and-conditions.
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.

Dimensions

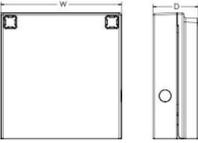


WPXO LED
Wall Pack



Specifications

Depth (D): 2"
Height (H): 5.75"
Width (W): 5.5"
Weight: 2.5lbs



Introduction
The WPXO LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in four sizes, the WPXO family delivers 850 to 9,200 lumens with a wide, uniform distribution. The WPXO full cut-off wall pack is an excellent above the door lighting solution. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Standard features such as Adjustable Lumen Output (ALO), color switching and switchable photocell make WPXO ideal for any application.

Ordering Information

EXAMPLE: WPXO LED ALO SWW2 MVOLT PE DDBDD

Series	Color Temperature	Voltage	Controls	Finish
WPXO LED ALO	850-1,650 Lumens	SWW2 300K/4000K/5000K	MVOLT 120V-277V	PE Photocell On/Off
				DDBDD Dark Bronze

NOTE: The lumen output and input power shown in the ordering tree are average representations of all configurations. **NOTES:** Default out of the box settings: 1,650 Lumens, 4000K, Photocell enabled

FEATURES & SPECIFICATIONS

INTENDED USE:
The WPXO LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPXO, WPX1, WPX2 and WPX3 are ideal for replacing up to 70W, 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for 40°C to 40°C.

CONSTRUCTION:
WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL:
Light engine consists of high efficiency LEDs and LED lumen maintenance of 80/70/60/50 hours. Color temperature (CCT) can be switched between 3000K, 4000K and 5000K with minimum CRI of 80. Electronic driver ensures power factor >90% and THD <20%. The luminaires operate on MVOLT (120V-277V) input.
WARRANTY:
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.acuitybrands.com/support/warranty/terms-and-conditions.
Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



Catalog Number
Notes
Type

Contractor Select™
WPX LED
Wall packs

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing full-cut solution for both new construction and HID wall pack replacement/reconstruction opportunities. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life.

- FEATURES:**
- Architectural design at very economical prices
 - Energy efficient - payback in less than two years
 - Wide range of configuration options available

NOTE: WPX3 lumen package and all the WPX configuration options are not included in the Contractor Select program. For more information, please visit WPX LED.

Luminaire	CCT	Lumens	Input Watts	Photocell	Finish	Voltage	Catalog Number	Q Code	UPC	Pallet Qty.	Replaces Up To
WPX0	SWW2 3000K/4000K/5000K	850-1,650	6.4-13W	Switchable On/Off	DARK BRONZE	120-277V	WPX0 LED ALO SWW2 MVOLT PE DDBDD M2	*219040	1948251306	280	70W Metal Halide
WPX1	4000K	2,900	24W	N/A	DARK BRONZE	120-277V	WPX1 LED P2 40K MW01 DDBDD M4	*26559K	19344870389	160	150W Metal Halide
WPX2	4000K	6,000	47W	N/A	DARK BRONZE	120-277V	WPX2 LED 40K MW01 DDBDD M2	*26558K	19394887036	120	250W Metal Halide
		5,000K	6,000	47W	N/A	DARK BRONZE	120-277V	WPX2 LED SW MW01 DDBDD M2	*26556K	19394887070	120

More configurations are available. Click here or visit www.acuitybrands.com and search for WPX LED.



Specifications

INTENDED USE:
The WPX LED wall packs are designed to provide a cost-effective, energy efficient solution for the one-for-one replacement of existing HID wall packs. The WPX0, WPX1, WPX2 and WPX3 are ideal for replacing up to 70W, 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for 40°C to 40°C.

CONSTRUCTION:
WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL:
Light engine(s) configurations consist of high efficiency LEDs with a min LED lumen maintenance of 180/100/80 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70 (80 for WPX0). Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package and WPX0 comes with a standard surge protection rating of 2.5kV).
Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

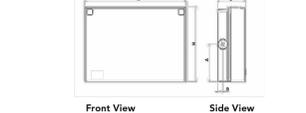
INSTALLATION:
WPX can be mounted directly onto a standard electrical junction box. A port on the back surface allows cable through conduit wiring on surfaces that don't have an electrical junction box. WPX1, WPX2 and WPX3 come with three 1/2 inch conduit ports on three sides that allow for surface conduit wiring. Wiring can be made in the integral wiring compartment in all cases. WPX1 is only recommended for installations with LEDs facing downwards.

LISTINGS:
CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/DQL to confirm which versions are qualified.

WARRANTY:
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at www.acuitybrands.com/support/warranty/terms-and-conditions.
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Dimensions

All dimensions are inches (centimeters) unless otherwise indicated.



Luminaire	Height (H)	Width (W)	Depth (D)	Conduit Location	Weight
WPX0	5.75" (14.6 cm)	5.5" (14.0 cm)	2" (5.1 cm)	N/A	2.5 lbs (1.1 kg)
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	6.1 lbs (2.8 kg)
		9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)
WPX2	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	11.0 lbs (5.0 kg)
		13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	11.0 lbs (5.0 kg)

Product Ver: 24-3s (LMS Tech) | 15 CONSTRUCTION DETAILS | File: P:\decop_projects\2340 metro real estate commission\23-03088\Site Plans\2340_2340_03088SD1.dwg

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Newport News, Pennsylvania T: 757.485.0276 | Philadelphia, Pennsylvania T: 215.253.4886 | Bethlehem, Pennsylvania T: 610.598.4400 | Annapolis, Maryland T: 410.547.5000

CONSTRUCTION DETAILS

TITLE: _____

PROJECT: **BLOOMFIELD BROAD ASSOCIATES URBAN RENEWAL, LLC**
PROPOSED MIXED-USE DEVELOPMENT
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